# 4533 90th Ave SE

Mercer Island, WA - XXXXX

FLOOR PLAN

### GENERAL INFORMATION APPLIES FULL SET

### GENERAL

GENERAL NOTES

- A. ALL ANGLED WALLS (OTHER THAN 90°) SHALL BE CONSTRUCTED AS NOTED BY ANGLE (DEGREES) CALLOUT OR CONFIGURED AS DIMENSIONED. (UNO.)
- B. ALL DIMENSIONS AT WALLS ARE TO THE FACE OF FRAMING STUDS.
- C. ALL EXTERIOR WALLS ENCLOSING CONDITIONED SPACE SHALL BE ADVANCED FRAMING w/2x6 STUDS at 16" OC. and INTERIOR WALLS TO BE 2x4 STUDS at 16" OC. per IRC. R602.3.2 (UNO.)
- D. ALL DIMENSIONS AT WINDOWS ARE TO THE CENTERLINE
- E. WINDOW SIZES NOTED ON PLANS ARE NOMINAL SO CONTRACTOR MUST VERIEY EXACT ROUGH OPENINGS PRIOR TO FRAMING. WINDOW and DOOR HEAD HEIGHTS SHOULD BE COORDINATED SO THAT ALL WINDOW and DOOR TRIMS ALIGN.
- F. PROVIDE WEATHER PROTECTION SYSTEM W/WATER-RESISTIVE BARRIERS IN COMBINATION w/FLASHINGS at EXT. WALLS, OPENINGS, PROJECTIONS, PENETRATIONS and INTERSECTIONS TO LOCK OUT ALL MOISTURE per IRC. R703.1-703.4
- G. TILE INSTALLATION SHALL COMPLY W/APPLICABLE SECTIONS OF THE TILE COUNCIL OF AMERICA'S "HANDBOOK FOR CERAMIC TILE INSTALLATION" and ITS REFERENCED STANDARDS including IRC. R702.4.1
- H. ALL COUNTERS, TUB DECKS & WALLS AT TUBS & SHOWERS SHALL HAVE SMOOTH, HARD. NON-ABSORBENT SURFACE O/CEMENTITIOUS BACKER BOARD and MOISTURE RESISTANT UNDERLAYMENT per IRC. R702.4.2 UNDERLAYMENT AT TUB & SHOWER WALLS SHALL BE TO A HEIGHT OF +72" MIN. ABOVE DRAIN INLET per IRC. R307.2
- 1. ALL SHOWERS TO COMPLY W/IRC. P2708.1 through P2708.5 ALL SHOWER RECEPTORS TO COMPLY w/IRC. P2709.1 through P2709.4
- J. CALCULATIONS and DETAILS FOR MOUNTING HEIGHTS & CONNECTION OF METAL GUARDRAILS (IF USED) SHALL BE PROVIDED FOR REVIEW and APPROVAL BY RAILING FABRICATOR PRIOR TO INSTALLATION FOR COMPLIANCE W/IRC R311 & R312
- K. ALL REQUIREMENTS FOR BUILDING ENVELOPE TO COMPLY WITH THE 2018 WASHINGTON STATE ENERGY CODE (MSEC). SEE REQ'D ENERGY CREDITS ON THIS SHEET ALONG W/ ENI FOR PRESCRIPTIVE REQUIREMENTS and COMPLIANCE NOTES FOR SINGLE FAMILY RESIDENTIAL IN CLIMATE ZONE 5 and MARINE
- L. WSEC COMPLIANCE CERTIFICATE REQUIRED WITHIN 3' OF ELECTRICAL PANEL.
- M. EXHAUST FANS LARGER THAN 50cfm. MAY BE CONNECTED TO 4" SMOOTH WALL VENT PIPE IF RUNS DO NOT EXCEED 20' IN LENGTH, THE MINIMUM SIZE OF FLEX DUCT IS 5" DIAMETER WITH MAXIMUM RUN OF 15'.
- N. COMBUSTION AIR REQUIRED FOR ALL FUEL BURNING APPLIANCES. ALL INGITION SOURCES TO BE min. 18" ABV. GARAGE FLOOR per IRC. MI307.3
- O. PROVIDE FIREBLOCKING TO CUT OFF DRAFT OPENINGS AT LOCATIONS W/MATERIALS per IRC. R302.II PROVIDE DRAFTSTOPPING AT FLOOR/CEILING ASSEMBLIES per IRC. R302.12
- P. ALL WASTE PLUMBING DROPS TO BE ON INTERIOR WALLS OR FURRED OUT EXTERIOR WALLS.
- Q. PROVIDE ACOUSTICAL PIPE WRAP AT ALL UPPER LEVEL WASTE LINES
- R. ALL OPENINGS MADE IN WALLS, FLOORS or CEILINGS FOR THE PASSAGE OF PIPES, STRAINER PLATES ON DRAIN INLETS, TUB WASTE OPENINGS TO CRANLSPACE and METER BOXES TO COMPLY w/THE CODE REQUIREMENTS OF THE GOVERNING UPC.
- S. ENTRY STEPS SHALL HAVE SUFFICIENT GRADE BUILT UP AROUND THEM SO THE NUMBER OF STAIR RISERS DOES NOT EXCEED 3, W/MAX. RISER HEIGHT OF 73 -NOT REQUIRING A HANDRAIL per IRC. R311.7.8
- T. ALL EXTERIOR HOSE BIBS TO HAVE NON-REMOVABLE VACUUM BREAKERS, MUST BE FROSTPROOF and BE CAULKED and SECURED AT EXT. WALLS.
- U. INTERIOR CEILING HEIGHTS ARE AS FOLLOWS; MAIN FLOOR 10'-0" (U.N.O.) UPPER FLOOR 9'-1 1/8" (U.N.O.)

### SAFETY GLAZING

SAFETY GLAZING INSTALLED IN HAZARDOUS LOCATIONS AS REQUIRED BY THIS SECTION SHALL HAVE MFGR'S DESIGNATION w/TYPE, THICKNESS and SAFETY GLAZING STANDARD with WHICH IT COMPLIES MARKED BY PERMANENT MEANS THAT CANNOT BE REMOVED WITHOUT DESTROYING GLASS per IRC. R308.1

IRC. R308.4 REQUIRES THAT SAFETY GLAZING TO BE INSTALLED IN ALL HARARDOUS LOCATIONS per DEFINED REQUIREMENTS and EXCEPTIONS SPECIFIED IN IRC. R308.4.1 through R308.4.7

- I. GLAZING IN DOORS.
- 2. GLAZING ADJACENT TO DOORS. 3. GLAZING IN WINDOWS MEETING ALL (4) CONDITIONS
- 4. GLAZING IN GUARDS and RAILINGS
- 5. GLAZING IN and NEAR WET SURFACES. 6. GLAZING ADJACENT TO STAIRS and RAMPS
- 7. GLAZING ADJACENT TO THE BOTTOM STAIR LANDING.

SKYLIGHTS and SLOPED GLAZING SHALL COMPLY with THE MATERIALS and REQUIREMENTS OF IRC. R308.6.1 through R308.6.9

### EGRESS WINDOWS

WINDOWS PROVIDING EMERGENCY ESCAPE and RESCUE OPENING REQUIRED AT BASEMENTS, HABITABLE ATTICS and ALL SLEEPING ROOMS and SHALL OPEN DIRECTLY INTO A PUBLIC WAY or YARD TO SAME per IRC. R310.1

. WINDOW CANNOT REQUIRE KEYS, TOOLS or SPECIAL KNOWLEDGE TO OPEN per IRC. 310.1.1 MUST HAVE AN OPENING AREA OF NOT LESS THAN 5.7

Sq.Ft. with 20" min. WIDTH and 24" min. HEIGHT per IRC.

• MUST HAVE A SILL HEIGHT OF NOT MORE THAN 44" ABV. FLOOR per IRC. R310.2.2 GUARDS MUST BE PROVIDED AS WINDOW FALL PROTECTION AT LOW WINDOWS LOCATED GREATER

### STAIRS and HANDRAILS

STAIRWAYS PROVIDING EGRESS FROM HABITABLE LEVELS NOT PROVIDED w/EGRESS DOOR per IRC. R3II.2 SHALL MEET THE REQUIREMENTS and EXCEPTIONS OF IRC. R311.7.1 through R311.7.9 INCLUDING:

THAN 72" ABV. FINISHED GRADE per IRC. R312.2

- SHALL PROVIDE A MIN. CLEAR WIDTH OF 36" ABOVE HANDRAIL W/MAX. HANDRAIL PROJECTION INTO STAIRWAY OF  $4\frac{1}{2}$ " ON EITHER SIDE per R311.7.1
- SHALL PROVIDE A MIN. HEADROOM OF 6'-8" MEASURED VERTICALLY FROM THE NOSE OF TREADS or LANDINGS per R311.7.2
- SHALL NOT HAVE A VERTICAL RISE GREATER THAN 147" BTWN. FLOOR LEVELS or LANDINGS per R311.7.3
- SHALL MEET THE WALKLINE REQUIREMENTS AT WINDER TREADS per R311.7.4
- SHALL HAVE A MAX. RISER HEIGHT OF 7½" and HAVE A MIN. TREAD DEPTH OF IO" THE GREATEST DIMENSION OF ANY RISER OR TREAD MUST NOT EXCEED THE SMALLEST DIMENSION BY MORE THAN 3". TREADS LESS THAN II" SHALL MEET NOSING REQUIREMENTS THE OPENINGS AT OPEN RISERS SHALL NOT PERMIT THE PASSAGE OF A 4" PSPHERE per R311.5.1 through
- LANDINGS AT TOP and BOTTOM OF STAIRS SHALL MEET THE REQUIREMENTS OF R31176
- THE WALKING SURFACE OF TREADS and LANDINGS SHALL NOT BE SLOPED MORE THAN 2% PER R311.7.7
- HANDRAILS SHALL BE PROVIDED ON AT LEAST ONE SIDE OF EACH CONTINUOUS RUN OF TREADS w/(4) or MORE RISERS. THE TOP OF HANDRAIL SHALL BE 34-38" ABV. LINE CONNECTING NOSINGS, HAVE MIN. 12 SPACE BETWN. RAIL and WALL, HANDRAIL MUST RUN CONTINUOUS FOR FULL LENGTH OF EACH FLIGHT and MEET APPROVED GRIP-SIZE per IRC. R311.7.8
- SHALL BE PROVIDED WILLUMINATION per IRC. R303.7 at INTERIOR STAIRWAYS and R303.8 at EXTERIOR STAIRWAYS.

### GUARDS

GUARDS SHALL BE PROVIDED IN ACCORDANCE w/REQUIREMENTS and EXCEPTIONS OF IRC. R312.1 through R312.2 INCLUDING:

- ALONG OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS and LANDINGS LOCATED 30" or GREATER ABOVE ADJACENT FLOOR LEVEL per IRC.
- OPENINGS MUST PREVENT THE PASSAGE OF A 4" SPHERE or 43" AT OPEN SIDES OF STAIRS or 6" AT TRIANGLE OF TREAD, RISER & BOTTOM RAIL per
- GUARDS MUST BE PROVIDED AS WINDOW FALL PROTECTION AT LOW WINDOWS LOCATED GREATER THAN 72" ABV. FINISHED GRADE per IRC. R312.2 GUARDS and HANDRAILS MUST RESIST A SINGLE CONCENTRATED LOAD OF 2001bs. IN ANY DIRECTION ALONG THE TOP and GUARD INFILL MUST RESIST A 501b. LOAD APPLIED HORIZ. OVER I Sq.Ft. per IRC. TABLE

### \_ALARMS

SMOKE ALARMS and CARBON MONOXIDE ALARMS REQUIRED IN ALL NEW DWELLINGS SHALL MEET REQUIREMENTS and EXCEPTIONS OF NFPA 72, IRC. R314

- SMOKE ALARMS TO BE LISTED and INSTALLED IN ACCORDANCE W/IRC. R314.1.1 and CARBON MONOXIDE ALARMS IN ACCORDANCE W/IRC. 315.1.1
- SMOKE ALARMS SHALL BE INSTALLED IN FOLLOWING LOCATIONS per R314.3 :
- I. IN EACH SLEEPING ROOM.
- 2. OUTSIDE EACH SEPARTE SLEEPING AREA. 3. ON EACH STORY OF THE DWELLING.
- 4. NOT LESS THAN 3' FROM A BATHROOM W/TUB or
- SHOWER. 5. NOT NEAR COOKING APPLIANCES per R314.3.1
- SMOKE ALARMS SHALL BE INTERCONNECTED per
- CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS per R315.3: I. ON EACH STORY OF THE DWELLING
- 2. ADJACENT TO EACH SEPARATE SLEEPING AREA. 3. WITHIN BEDROOMS WHERE A FUEL BURNING FIREPLACE IS LOCATED IN THE ROOM or ITS
- ALL ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM BUILDING WIRING W/BATTERY BACKUP per R314.6 and R315.5 COMBINATION SMOKE and CARBON MONOXIDE
- LOCAL JURISDICTION REQUIRES DWELLING UNIT FIRE SPRINKLER SYSTEM TO BE A NFPA 13d FIRE SPRINKLER SYSTEM

ALARMS SHALL BE PERMITTED IN LIEU OF SEPARATE ALARMS per R314.5 and R315..4 FIRE PROTECTION

Pound OR Number **ELEC Electrical** MC Medicine Cabinet And ELEV Elevation MDO Medium Density SPECSpecification EQ Equal Overlay Square EW Each Way A/C Air Conditioner EXC Excavate MED Medium AB Anchor Bolt FXH Exhaust ABV Above MFMB Membrane AD Area Drain EXIST Existing MFR Manufacturer EXT Exterior MIN Minimum **ADDL** Additional FBD Fiberboard MIR Mirror ADH Adhesive FCB Fiber Cement B MISC Miscellaneous ADJ Adjustable FCO Floor clean out AFF Above Finish Floor FD Floor drain AGG Aggregate MMB Membrane FIN Finish MTL Metal ALT Alternate FIXT Fixture MWK Millwork FLOR Fluorescent NIC Not in Contract ANC Anchor FLR Floor FLSH Flashing NO Nümber FND Foundation NOM Nominal FO Face Of NTS Not to Scale Non-Operable Window TO Top Of FOM Face of Masonry FOS Face of Studs OBS Obscure OC On Center

APX Approximate AUTO AVR Average AWG American Wire Gauge FOC Face of Concrete AWN Awnina B/O By Others FOW Face of Wall FPL Fireplace BLDGBuilding FRM Frame(ing) BLKGBlocking FRPF Fireproof BLW Below OPG Opening FT Foot FTG Footing BOF Bottom of FUR Furred GA Gauge BOW Bottom of wall **GALV** Galvanized BR Bedroom GFCI Ground Fault Circuit BSMTBasement BTW Between

ABBREVIATIONS

Interrupt GFL Ground Fault Interrupt Glass GLB Glue Laminated BeamPLT Plate GLBK Glass Block

CAS Casement CB Catch Basin GWB Gypsum Wall Board CC Center to Center GYP Gypsum HB Hose Bib HC Hollow Core HDR Header HDWR Hardware HT Height HVAC Heat-Vent-Air

CIP cast-in-place CJ Control Joint CL Centerline CLG Ceiling CMU Concrete Masonry Conditioning HW Hot water COL Column ID Inside Diameter CONC Concrete CONTContinuous ILO In Lieu Of CRPTCarpet IN Inch INCL Include CT Ceramic Tile CTYD Courtyard INS Insulate(tion) Cubic Feet INSUL Insulation CU YD Cubic Yard

CAB Cabinet

CLR Clear

DBL Double

DS Downspout

DT Drain Tile

DW Dishwasher

EF Exhaust fan

EJ Expansion Joint

DWG Drawing

EL Elevation

EA Each

INT Interior DEMO Demolish or JNT Joint JST Joist KD Kiln Dried DH Double Hung DIA Diameter KIT Kitchen DIM Dimension LB Pound Lineal Feet DRWR Drawer

J-Box Junction bo LAM Laminate(d) Live Load Light LTG Lighting LVL Laminated Veneer Lumber LVR Louver

MAS Masonry

MAX Maximum

MBR Member

FOR THIS SET

REG Register **RENFReinforced REQ** Required **RFODRequired** REV Revision RFG Roofing RM Room RO Rough Ope SA Supply Air SCH Schedule SCN Screen SECT Section SH Shelf SHTHSheathing

TEL Telephone TEMP Tempered TK Tight Knot TME To Match Existing TOB Top of Beam TOC Top of curb/ Top of Concrete OD Outside Diameter TOF Top of footing OH Overhang TOW Top of wall Toilet Paper Hanger TYP Typical OPNG Opening or Rough Opening UNO Unless Noted OSB Orientated Strand PBD Particle Board VERT Vertical PBF Prefabricated VIF Verify in field PFRF Perforate(d) W/ With Property Line W/O Without PLAM Plastic Laminate WC Toilet (water closet) PLYWD Plywood WDW Window PNT Paint or Painted WH Water Heater PSF Pounds Per Square WIC Walk-In Closet WP Water Proofing WP Weatherproof WR Weather Resistant Pressure Treated WRB Weather Resistive

PVC Polyvinyl Chloride

R&S Rod and Shelf Reinforced Concrete RD Roof Drain RDL Roof drain leader REBAR Reinforcing Bar RFFR Ref

SHEET#

SHEET INDEX

COVERSHEET

SITE PLAN

SQ IN Square inches

SQFT Square feet STC Sound Transmission Coefficient STD Standard STR Structural Structural

MLB Micro Laminate Beam STRUCT Structure or Square yard T&G Tongue and Groove

> WWF Welded Wire Fabric Operable Window

PVMTPavement

ROW Right of way

SIM Similar

SIM Similar

Smoke detector SGD Sliding Glass Door

FOUNDATION PLAN MAIN FLOOR FRAMING PLAN MAIN FLOOR PLAN UPPER FLOOR FRAMING PLAN UPPER FLOOR PLAN ROOF FRAMING PLAN ROOF PLAN **EXTERIOR ELEVATIONS EXTERIOR ELEVATIONS BUILDING SECTIONS** LATERAL - STRUCTURAL GENERAL NOTES

DESCRIPTION

LATERAL - DETAILS LATERAL - DETAILS FOUNDATION DETAILS D1 WATER INTRUSION DETAILS MAIN FLOOR ELECTRICAL LAYOUT

UPPER FLOOR ELECTRICAL LAYOUT 2018 ENERGY CODE CALCULATIONS

> plan name: marketing name: XXXXXX plan number: mark sys. number:--

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern.

The drawings in this set are

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**IAYMARC** 

7525 SE 24th St., 487 Mercer Island, WA

98040

425.266.9100

✓ Issue Issue Date Bv

*0*1.20.22

S.K. REVISIONS

06.03.22

CITY PLAN REVIEW COMMENT

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Description

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Submittal Date

*0*1.21.22

Sheet Title/Description

JAYMARC HOMES Design Firm

Drawn by: R.R./ S.K. Checked by:

Primary Scale



of: .

## BUILDING CODES

### CITY OF MERCER ISLAND CODES AT THE DATE OF THIS DRAWING SET:

2018 INTERNATIONAL BUILDING CODE (IBC) 2018 INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 WASHINGTON STATE ENERGY CODES 2009 ICC A117.1, BARRIER-FREE STANDARD 2018 INTERNATIONAL FIRE CODE (IFC) 2018 NATIONAL ELECTRIC CODE (NEC)

2018 UNIFORM PLUMBING CODE (UPC) 2018 INTERNATIONAL MECHANICAL CODE (IMC) 2015 INTERNATIONAL FUEL GAS CODE (IFGC) 2015 POOL AND SPA CODE

COVER SHEET

PROJECT TEAM

ARCHITECTURAL DESIGN -JAYMARCH HOMES

ARCHITECTURAL DRAFTING JAYMARC HOMES - 425.226.9100 - JAYMARCHOMES.COM RYAN REDMAN - RYAN@JAYMARCHOMES.COM M&K ENGINEERING

MULHERN & KULP - 215.646.8001 - MULHERNKULP.COM

SQUARE FOOTAGE SUMMARY

RICHARD ZABEL - RZABEL@MULHERNKULP.COM

SQUARE FOOTAGE SUMMARY MAIN FLOOR AREA 1,545 S.F. 433 S.F. A.D.U MAIN FLR. AREA 436 S.F. UPPER FLOOR AREA \_\_\_\_2,068 S.F. 4,482 S.F. TOTAL AREA COV'D PATIO 259 S.F. COV'D PORCH TOTAL AREA UNDER ROOF OVERALL WIDTH 44'-1 1/2" OVERALL DEPTH Updated: 03/09/2018 distinction of 'above-grade or below-grade' areas and each level is measured to the

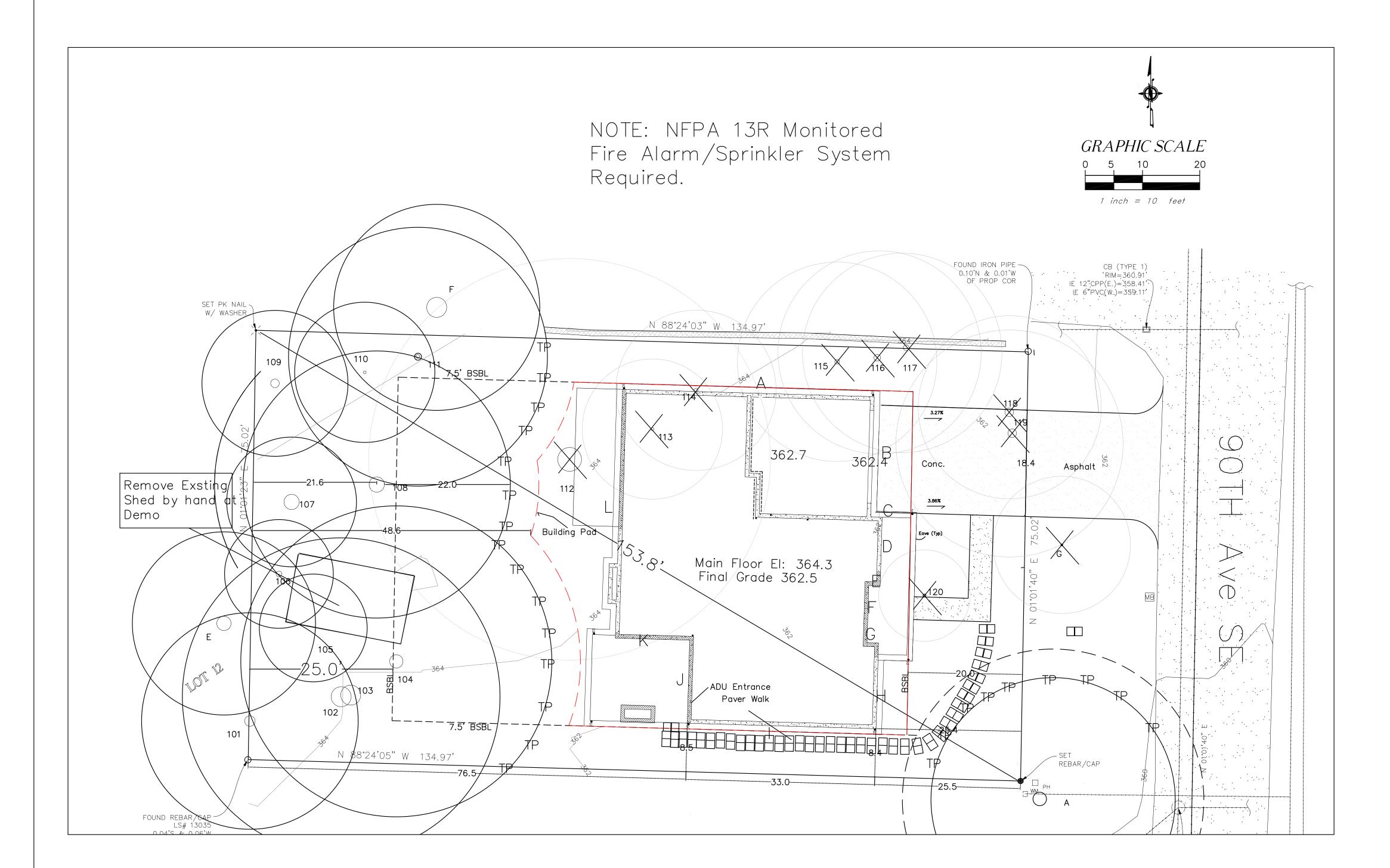
See Sheet "CODES" for additional Zoning required Area Calculations

equare footage calculations for this house were made based on plan dimensions only and may

1-17-22

6-6-22

7-27-22



Lot Slope Calculations				
High Point	367.1	ft		
Low Point	360.1	ft		
Elevation Difference	7	ft		
Distance	153	ft		
Slope%	4.60%			

LOT COVERAGE	
Lot Area	10,125
Allowed	40%
Allowed sf	4,050
New	
Main Structure Roof Area	2,796
Driveway	450
Cov'd Patio or Deck -	226
New sf	3,472
Existing	
Existing	324
<b>Existing Removed</b>	(324)
Net Existing	-
Total	
Total New and Existing	3,472
<u> </u>	34.3%

	Gross Floor Area	
,125	Main Floor Living	1,548 sf
40%	Garage	438 sf
,050	ADU	433 sf
	Second Floor	2,139 sf
,796	Less Stairs	(68) sf
450 226	Total	4,490 sf
,472	Max Allowed: 40% + ADU 433	4,490 sf
	Allowed %	44.3%
324	Proposed %	44.3%
(324)		

RKING	
2 ea	
2 ea.	
	2 ea

PROPERTY OWNER Jay Mezastrano 4531 90th Ave SE, Mercer Island, WA 98040 PARCEL# 191100190 **LEGAL DESCRIPTION** Lot 6 Block 3, Allview Heights Addition to Seattle, Vol. 16, P 20 **ZONE: R-9.6 SETBACKS:** Front Yard - 20' Rear Yard - 25' Sides Yards 5/15 **MAXIMUM LOT COVERAGE: 40%** MAXIMUM HARDSCAPE: 9% MAXIIUM FAR: 40% + ADU PARKING SPACES PROVIDED: 2 GARAGE 2 DRIVEWAY NO CRITICAL AREAS IMPACETED **NO ONSITE EASEMENTS** 

### 4531 90TH Ave SE TREE INVENTORY

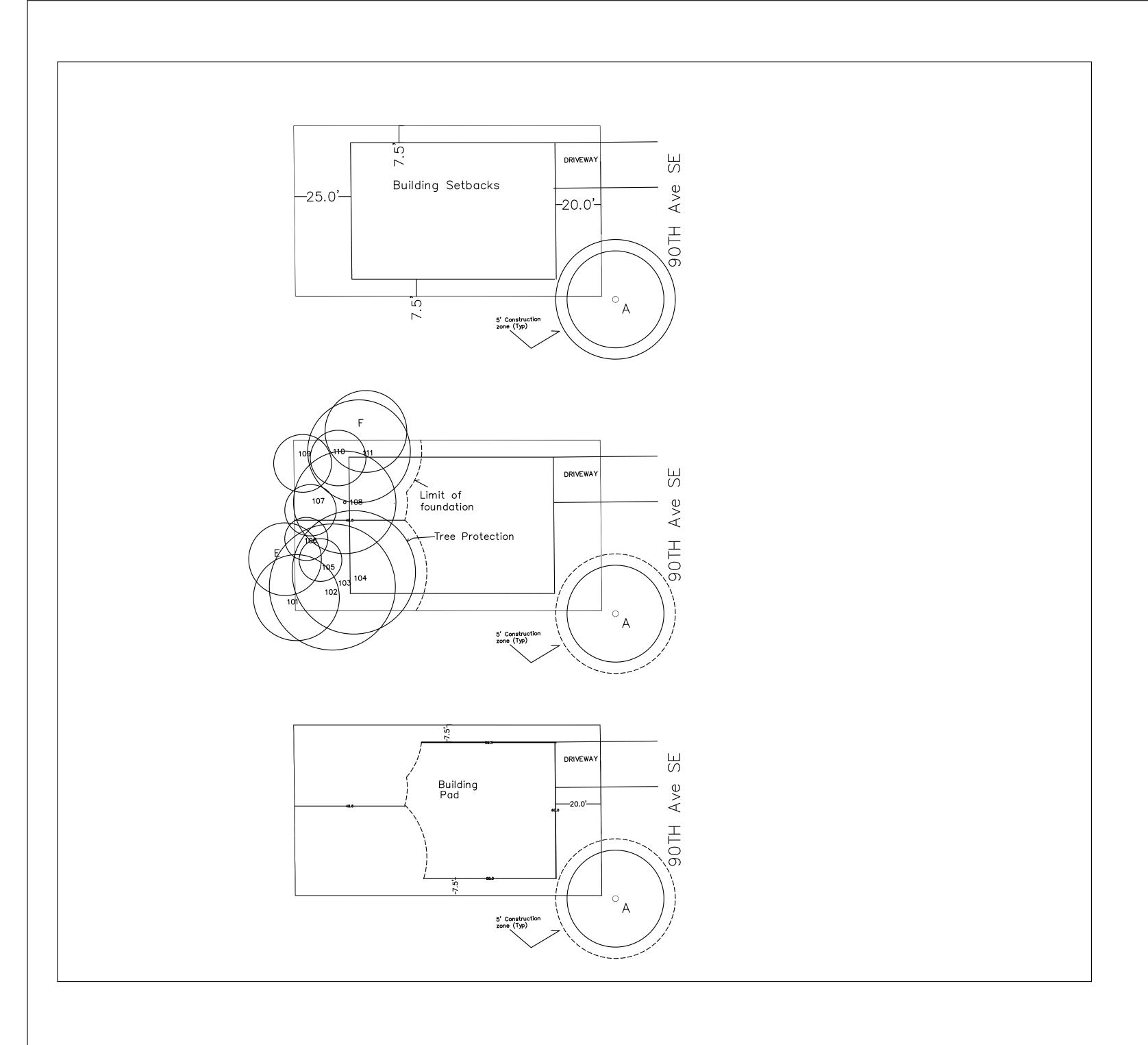
Tree ID	species	DBH	DRIP	EXCEPTIONAL	SAVE	REMOVE	
101	Doug Fir	24	18	yes, grove	yes		
102	Doug Fir	36.5	14	yes, grove	yes		
103	Doug Fir	40	26	yes, grove	yes		
104	Doug Fir	30.5	26	yes, grove	yes		
105	Doug Fir	11	9	yes, grove	yes		
106	Doug Fir	14	9			Yes	Dying
107	Doug Fir	14	9	yes, grove	yes		
108	Doug Fir	20	8	yes, grove	yes		
109	Bitter Cherry	20	11	yes, grove	yes		
112	Western red cedar	50	28	yes, grove		yes	
114	Bitter Cherry	10	14			Yes	Dying
115	Western red cedar	13	17			yes	
116	Western red cedar	18	17			yes	
117	Western red cedar	15	17			yes	
118	Western red cedar	28.8	15			yes	
119	Western red cedar	21	19			yes	
	TOTALS	14			8	6	
	Plus	2	dying			+ 2 dying	

				_		
NON REG	ULATIED TREES					
110	Bitter Cherry	4	12	Small Tree	yes	
120	Orchard Apple	8	12	Small Tree	yes	
111	Bitter Cherry	7	11	Small Tree		yes
RIGHT OF	WAY TREES					
Α	Western red cedar	41.6	20	Yes	Yes	
G	Mountain Ash	6	7	Small tree		Yes

	Hardscape		
Lot Size	10,125		
EXISTING			
Uncove	red Patio		0
Walkwa	ays		0
Stairs			0
Rockery	//Retaining Wa	alls	0
Total Exis	sting		0
Existing I	Removed		0
Net E	xisting Ret	ained	0
NEW			
Uncover	ed Patio		168
Walk			113
Total N	lew		281
Total N	lew and Exi	sting	281
	ardscape		2.8%

Hardscape		Height Table			
10,125					
		Wall			
red Patio	0	Segmen	Midpoint		
		t	Elevation	Length	Product
nys	0	Α	364	44	16,016.0
	0	В	362.5	21	7,612.5
/Retaining Walls	О	С	362	2	724.0
ting	0	D	361.8	12	4,341.6
_		E	360.7	2	721.4
Removed 0		F	360.8	10	3,608.0
xisting Retained	0	G	360.8	2	721.6
		Н	360.7	15	5,410.5
d Patio	168	l	361.1	33	11,916.3
	113	J	362	14.5	5,249.0
	113	K	363	13	4,719.0
		L	364	43.5	15,834.0
ew	281		Sub Totals	212	76,873.9
ew and Existing	281		ABE		362.6
_			Max Heigh	t	30.0
ardscape 2.8%		M	lax Elevatio	on	392.6

SE 30th



BUILDING PAD ILLUSTRATION

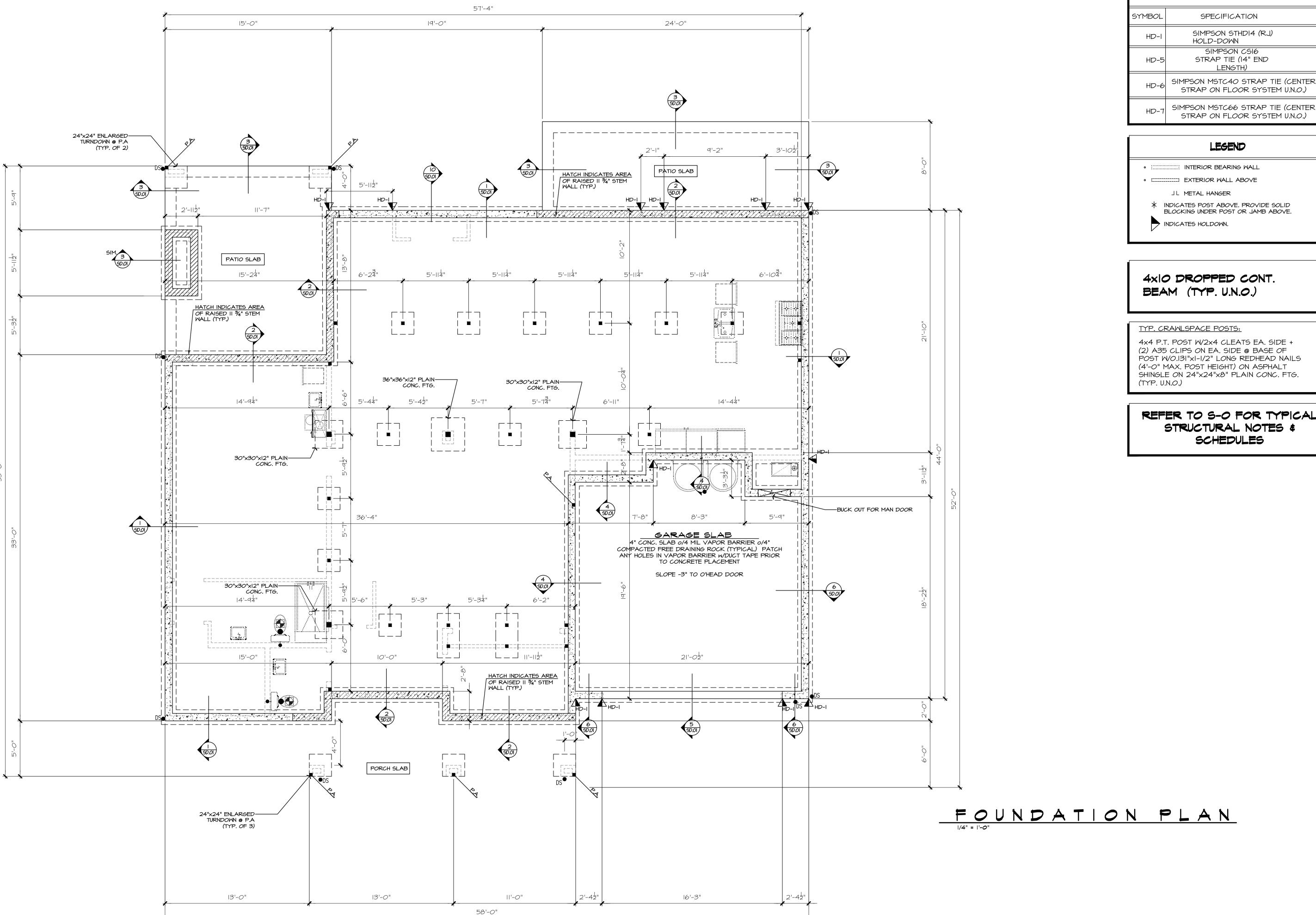
JayMarc Homes, LLC 7525 SE 24th St, #487 Mercer Island, WA 98040 425 281 2706

> Site Plan 4533 90th Ave SE Mercer Island WA

Drawn by GU 1-17-22

7-27-22

A



HOLD-DOWN SCHEDULE SPECIFICATION SIMPSON STHD14 (RJ) SIMPSON CSI6 STRAP TIE (14" END SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

\* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

## 4x10 DROPPED CONT.

4x4 P.T. POST W/2x4 CLEATS EA. SIDE + (2) A35 CLIPS ON EA. SIDE @ BASE OF POST W/O.131"x1-1/2" LONG REDHEAD NAILS (4'-0" MAX. POST HEIGHT) ON ASPHALT SHINGLE ON 24"x24"x8" PLAIN CONC. FTG.

REFER TO S-O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

7525 SE 24th St., 487 Mercer Island, WA 425.266.9100

Description

> *0*1.20.22 S.K. REVISIONS

06.03.22

CITY PLAN REVIEW COMMENT

90th Ave sr Island,

marketing name: XXXXXX plan number: mark sys. number:--

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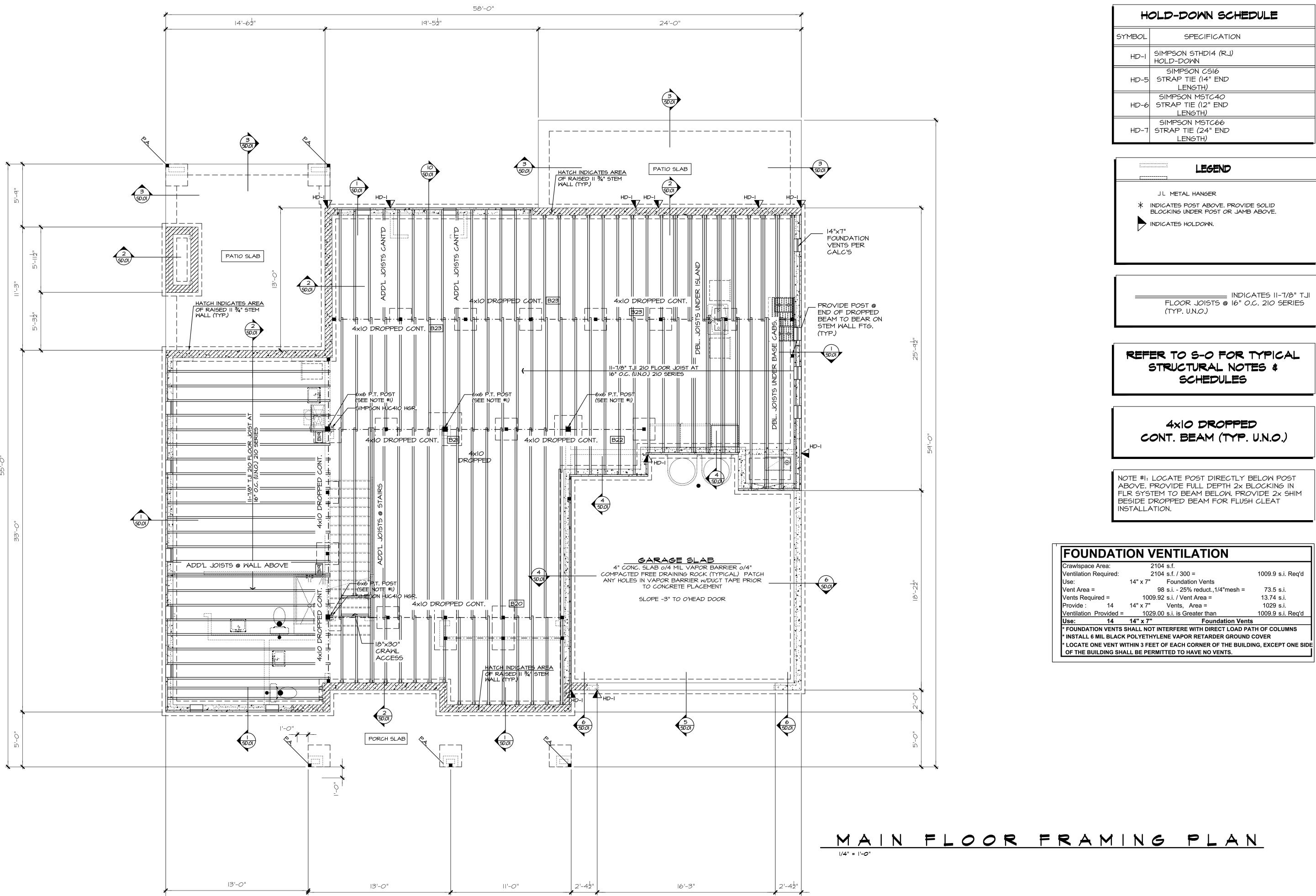
Sheet Title/Description

JAYMARC HOMES Design Firm

R.R.

Drawn by:

R.R./ S.K. Checked by:



58'-0"

HOLD-DOWN SCHEDULE SPECIFICATION SIMPSON STHD14 (RJ) HOLD-DOWN SIMPSON CSI6 HD-5 STRAP TIE (14" END LENGTH) SIMPSON MSTC40 HD-6 STRAP TIE (12" END LENGTH) SIMPSON MSTC66 STRAP TIE (24" END

LEGEND JL METAL HANGER \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE. INDICATES HOLDOWN.

> \_\_\_ INDICATES II-7/8" TJI FLOOR JOISTS @ 16" O.C. 210 SERIES (TYP. U.N.O.)

REFER TO S-O FOR TYPICAL STRUCTURAL NOTES \$ SCHEDULES

> 4x10 DROPPED CONT. BEAM (TYP. U.N.O.)

NOTE #1: LOCATE POST DIRECTLY BELOW POST ABOVE. PROVIDE FULL DEPTH 2x BLOCKING IN FLR SYSTEM TO BEAM BELOW. PROVIDE 2x SHIM BESIDE DROPPED BEAM FOR FLUSH CLEAT INSTALLATION.

**FOUNDATION VENTILATION** Crawlspace Area: Ventilation Required: 2104 s.f. / 300 = 1009.9 s.i. Req'd 14" x 7" Foundation Vents 98 s.i. - 25% reduct.,1/4"mesh = 73.5 s.i. Vents Required = 1009.92 s.i. / Vent Area = 13.74 s.i. 14" x 7" Vents, Area = 1029 s.i. Ventilation Provided = 1029.00 s.i. is Greater than 1009.9 s.i. Req'd 14 14" x 7" Foundation Vents \* FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS

H O M E S

7525 SE 24th St., 487

Mercer Island, WA

98040

425.266.9100

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06.03.22 CITY PLAN REVIEW COMMENT

> 90th Ave sr Island, 4 2

marketing name: XXXXXX ı plan number: mark sys. number:--

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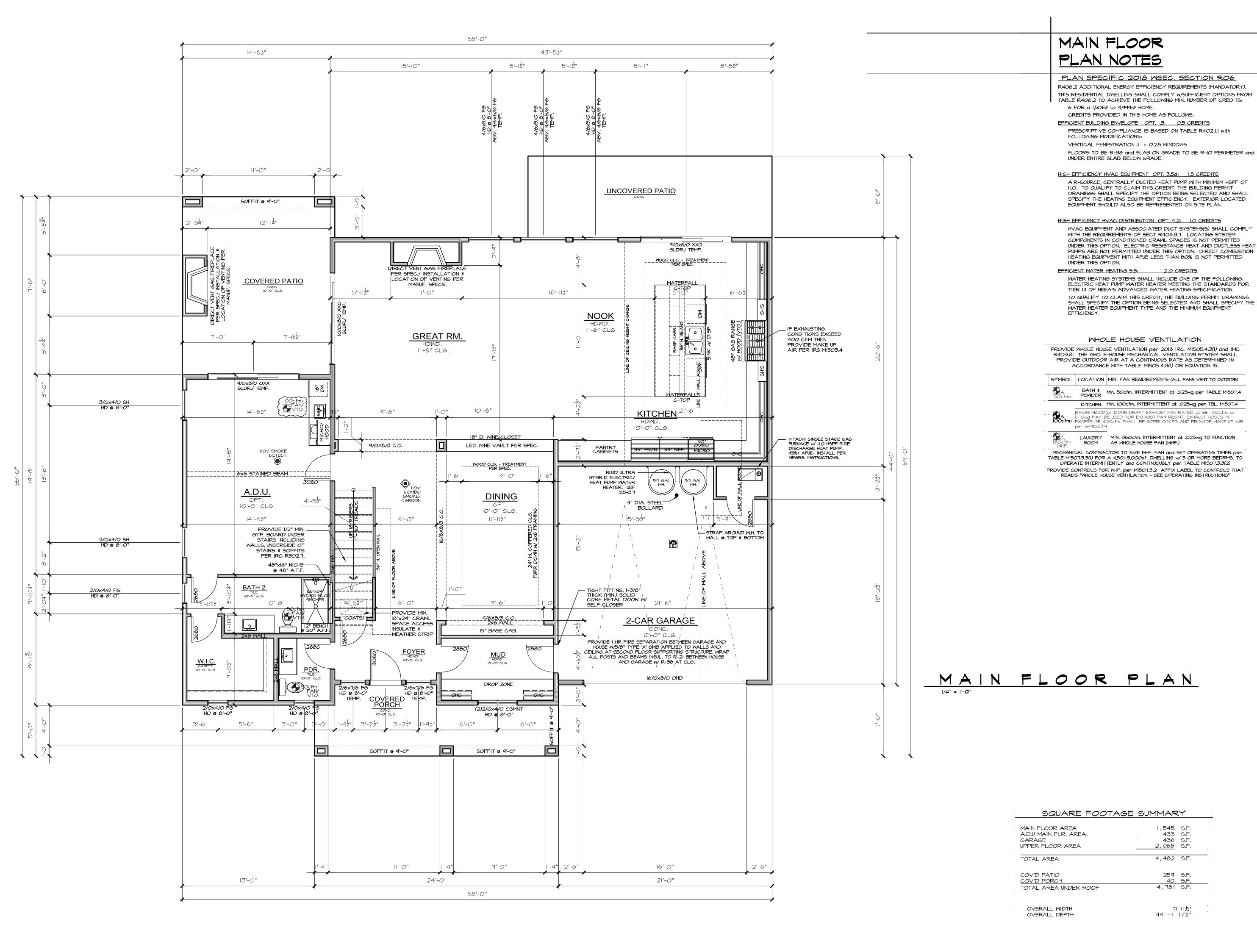
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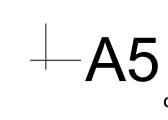
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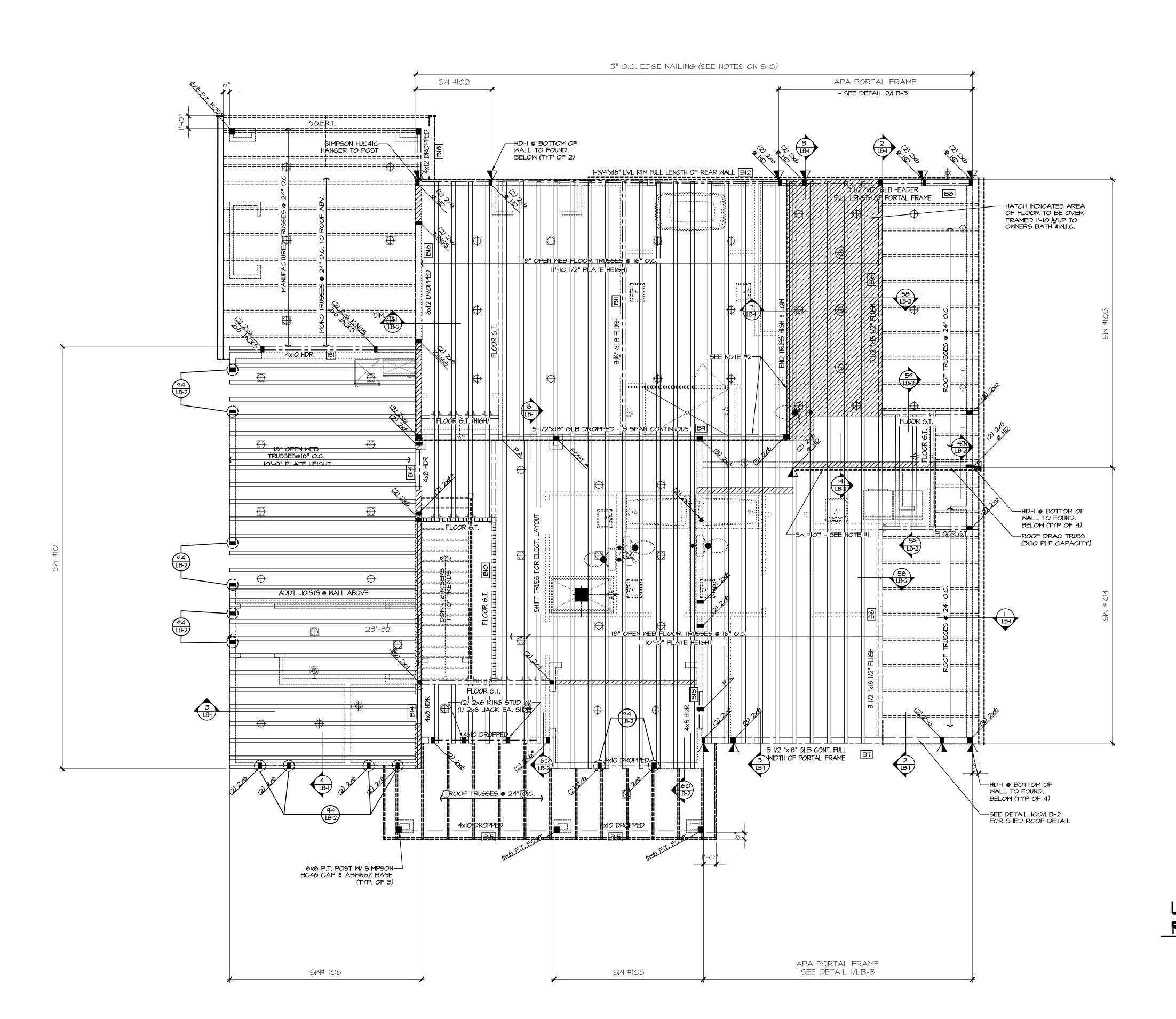
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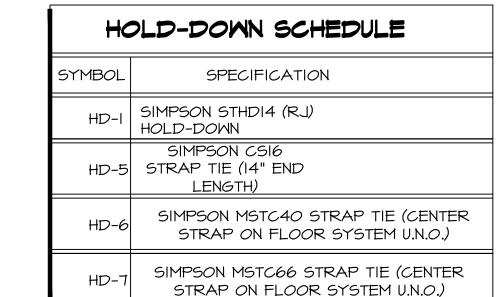
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### LEGEND

- WITH INTERIOR BEARING WALL
- \_\_\_\_\_\_ 18" FLOOR TRUSS @ 16" O.C. (U.N.O.)
- . ■ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/3" o.c. EDGE NAILING JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.

INDICATES HOLDOWN.

### REFER TO S-O FOR TYPICAL STRUCTURAL NOTES \$ SCHEDULES

4x10 HDR @ ALL EXT. BI WINDOWS/DOORS (TYP. U.N.O.)

PROVIDE 1/6" OSB/PLYWOOD SHTG. + FASTEN PER TYP. WALL SHTG. SPECS. (SEE NOTES)

NOTE #2:

STEP FLOOR SYSTEM AS SHOWN AND PROVIDE (3) 2x PLATES BETWEEN HIGH AND LOW FLOOR SYSTEM (TYP.)

POST A INDICATES A 5 4"x5 4" LVL POST W/ A SIMPSON BC6 CAP AND BC60 BASE

UPPER FLOOR & LOWER ROOF FRAMING PLAN

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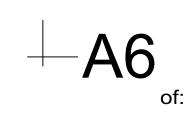
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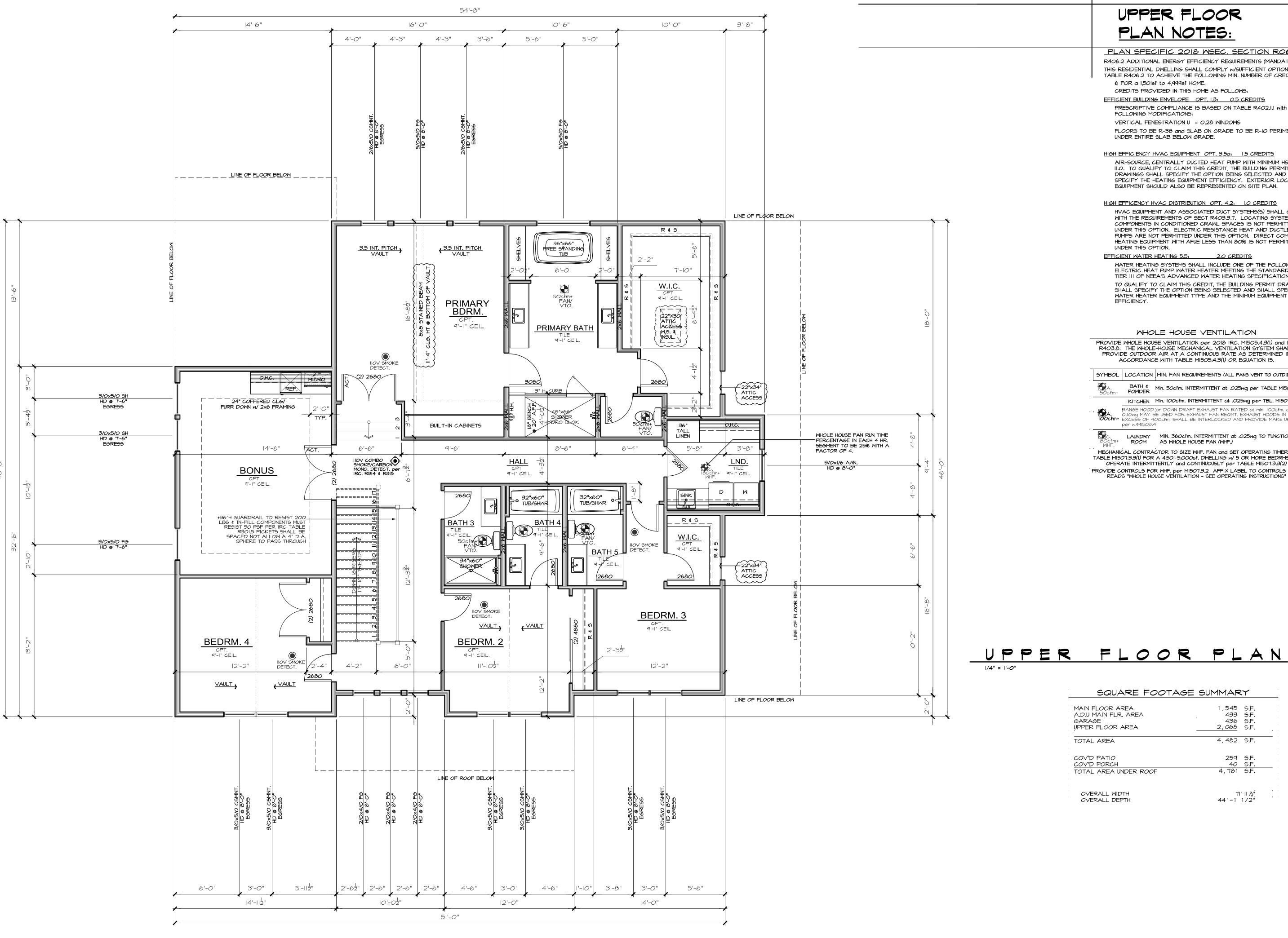
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### UPPER FLOOR PLAN NOTES:

PLAN SPECIFIC 2018 WSEC. SECTION RO6 R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS (MANDATORY). THIS RESIDENTIAL DWELLING SHALL COMPLY W/SUFFICIENT OPTIONS FROM TABLE R406.2 TO ACHIEVE THE FOLLOWING MIN. NUMBER OF CREDITS:

6 FOR a 1,501sf to 4,999sf HOME. CREDITS PROVIDED IN THIS HOME AS FOLLOWS:

EFFICIENT BUILDING ENVELOPE OPT. 1.3: O.5 CREDITS PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.I.I with FOLLOWING MODIFICATIONS:

VERTICAL FENESTRATION U = 0.28 WINDOWS FLOORS TO BE R-38 and SLAB ON GRADE TO BE R-10 PERIMETER and UNDER ENTIRE SLAB BELOW GRADE.

HIGH EFFICIENCY HVAC EQUIPMENT OPT. 3.5a: 1.5 CREDITS AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF II.O. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT EFFICIENCY. EXTERIOR LOCATED EQUIPMENT SHOULD ALSO BE REPRESENTED ON SITE PLAN.

HIGH EFFICENCY HVAC DISTRIBUTION OPT. 4.2: I.O CREDITS HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEMS(S) SHALL COMPLY WITH THE REQUIREMENTS OF SECT R403.3.7. LOCATING SYSTEM COMPONENTS IN CONDITIONED CRAWL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION.

EFFICIENT WATER HEATING 5.5: 2.0 CREDITS

WATER HEATING SYSTEMS SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE WATER HEATER EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT

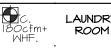
WHOLE HOUSE VENTILATION

PROVIDE WHOLE HOUSE VENTILATION per 2018 IRC. MI505.4.3(1) and IMC R403.8. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE MI505.4.3(1) OR EQUATION I5.

SYMBOL LOCATION MIN. FAN REQUIREMENTS (ALL FANS VENT TO OUTDIDE)

BATH ¢ Min. 50cfm. INTERMITTENT at .025mg per TABLE MI507.4 POWDER

KITCHEN Min. 100cfm. INTERMITTENT at .025mg per TBL. M1507.4 RANGE HOOD OF DOWN DRAFT EXHAUST FAN RATED at MIN. 100cfm. at 0.10mg MAY BE USED FOR EXHAUST FAN REQMT. EXHAUST HOODS IN EXCESS OF 400cfm. SHALL BE INTERLOCKED AND PROVIDE MAKE UP AIR



per w/M1503.4

LAUNDRY MIN. 360cfm. INTERMITTENT at .025mg TO FUNCTION ROOM AS WHOLE HOUSE FAN (WHF.)

1,545 S.F. 433 S.F. 436 S.F.

2,068 S.F.

4,482 S.F.

259 S.F.

71'-11 ½" 44' -1 1/2"

MECHANICAL CONTRACTOR TO SIZE WHF. FAN and SET OPERATING TIMER per TABLE MI507.3.3(I) FOR A 4,501-5,000sf. DWELLING w/ 5 OR MORE BEDRMS. TO OPERATE INTERMITTENTLY and CONTINUOUSLY per TABLE MI507.3.3(2) PROVIDE CONTROLS FOR WHF. per MI507.3.2 AFFIX LABEL TO CONTROLS THAT READS "WHOLE HOUSE VENTILATION - SEE OPERATING INSTRUCTIONS"

HOMES

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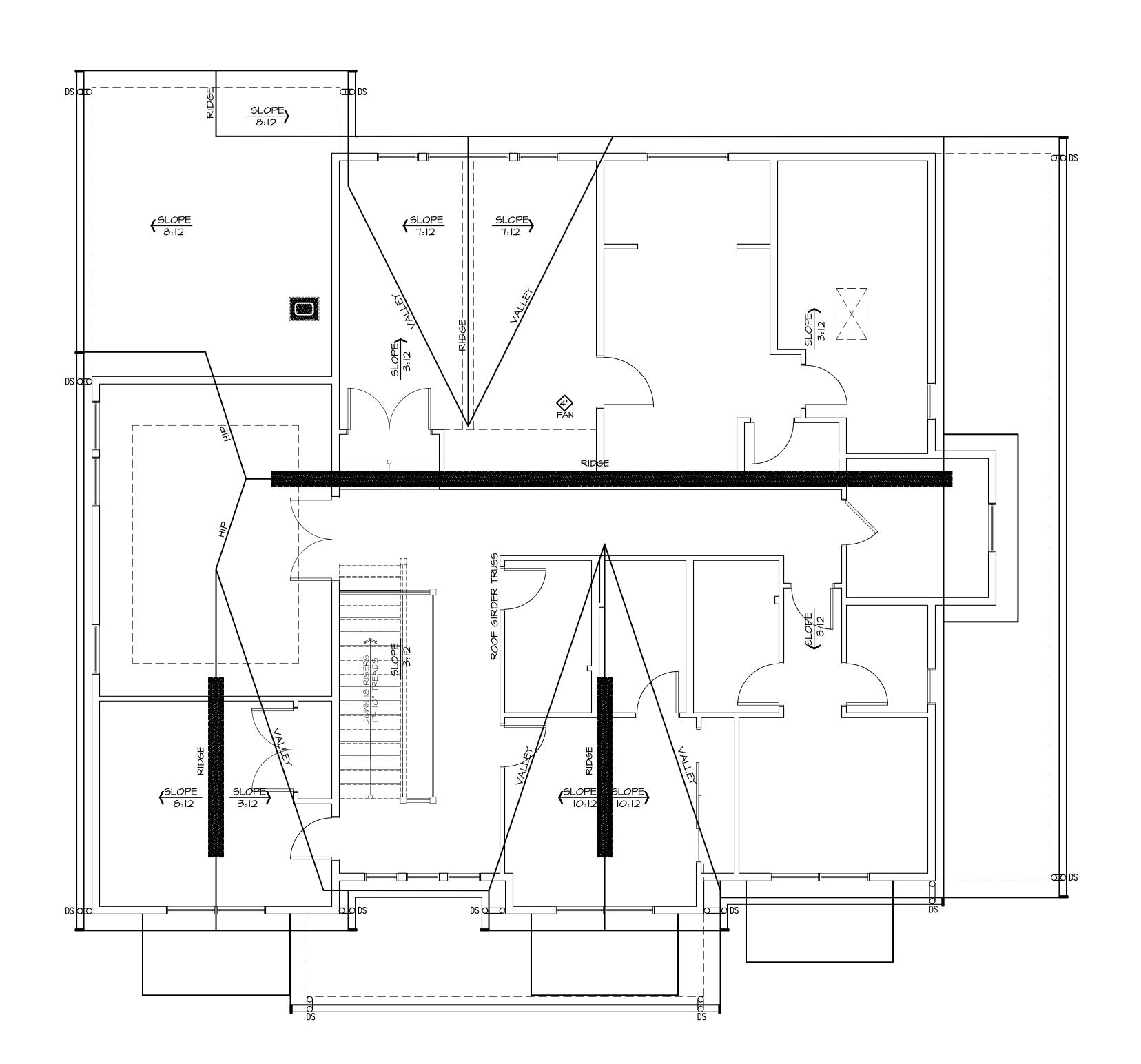
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ROOF PLAN



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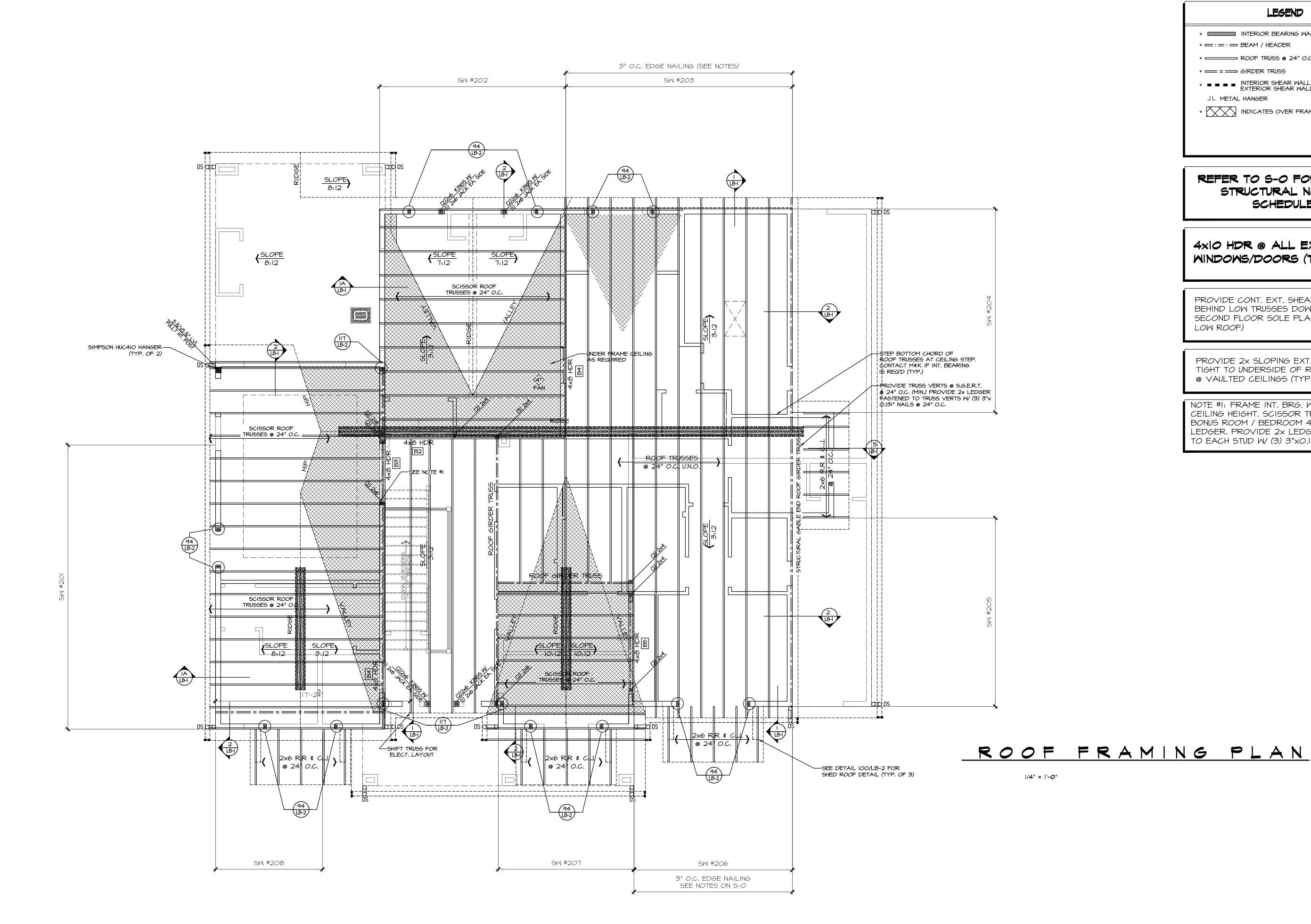
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### LEGEND

- WIIIIII INTERIOR BEARING WALL
- = : = : = BEAM / HEADER
- \_\_\_\_\_\_ ROOF TRUSS @ 24" O.C. (U.N.O.)
- · = = GIRDER TRUSS
- ■ INTERIOR SHEAR WALL PANEL OR
  EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING JL METAL HANGER
- INDICATES OVER FRAMED TRUSS AREA

### REFER TO S-O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

4x10 HDR @ ALL EXT. BI WINDOWS/DOORS (TYP. U.N.O.)

PROVIDE CONT. EXT. SHEATHING BEHIND LOW TRUSSES DOWN TO SECOND FLOOR SOLE PLATE (TYP. @ LOW ROOF)

PROVIDE 2x SLOPING EXT. WALLS BUILT TIGHT TO UNDERSIDE OF ROOF FRAMING 

NOTE #1: FRAME INT. BRG. WALL TO TYP. CEILING HEIGHT. SCISSOR TRUSSES @ BONUS ROOM / BEDROOM 4 TO HANG INTO LEDGER. PROVIDE 2x LEDGER FASTENED TO EACH STUD W/ (3) 3"xO.131" NAILS

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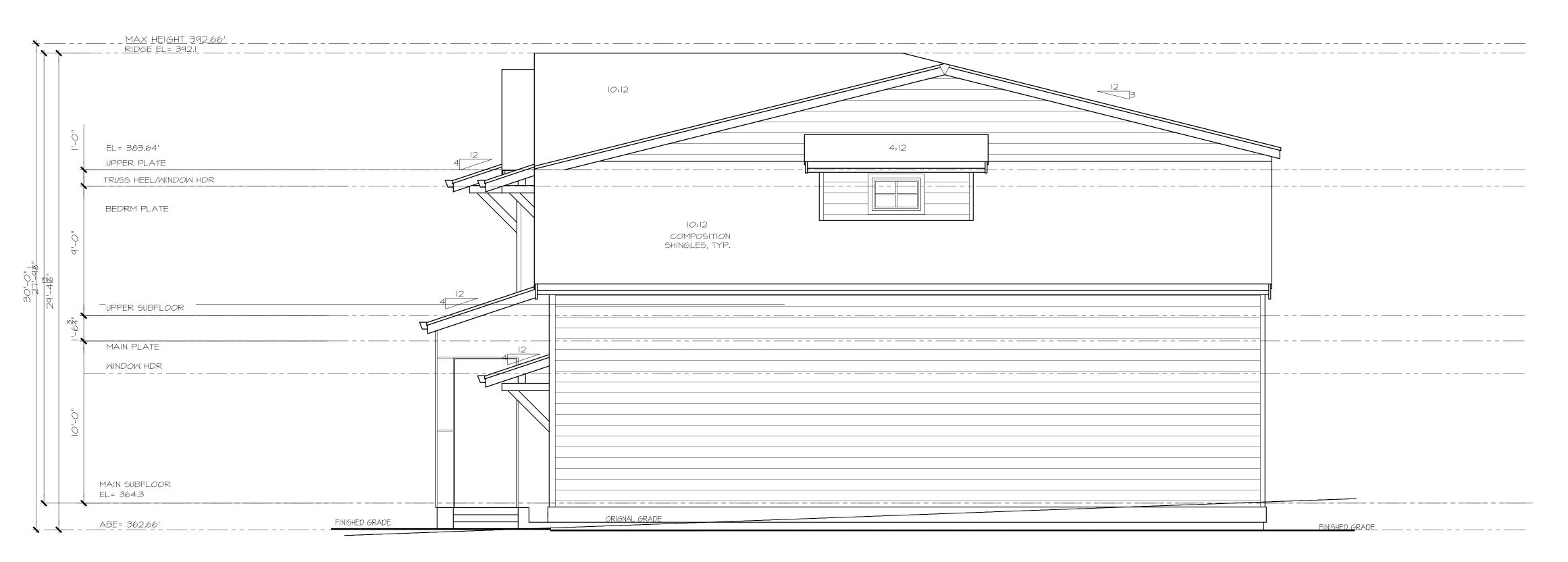
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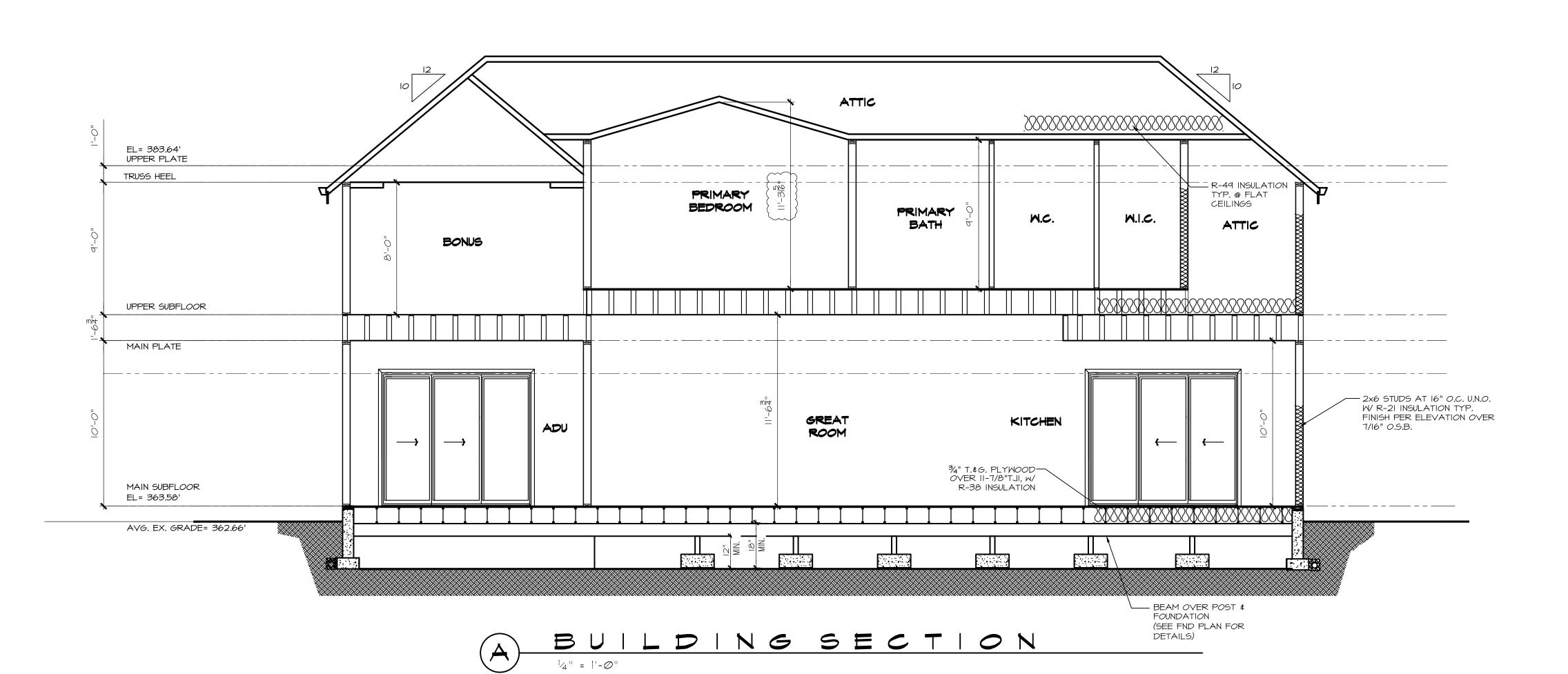
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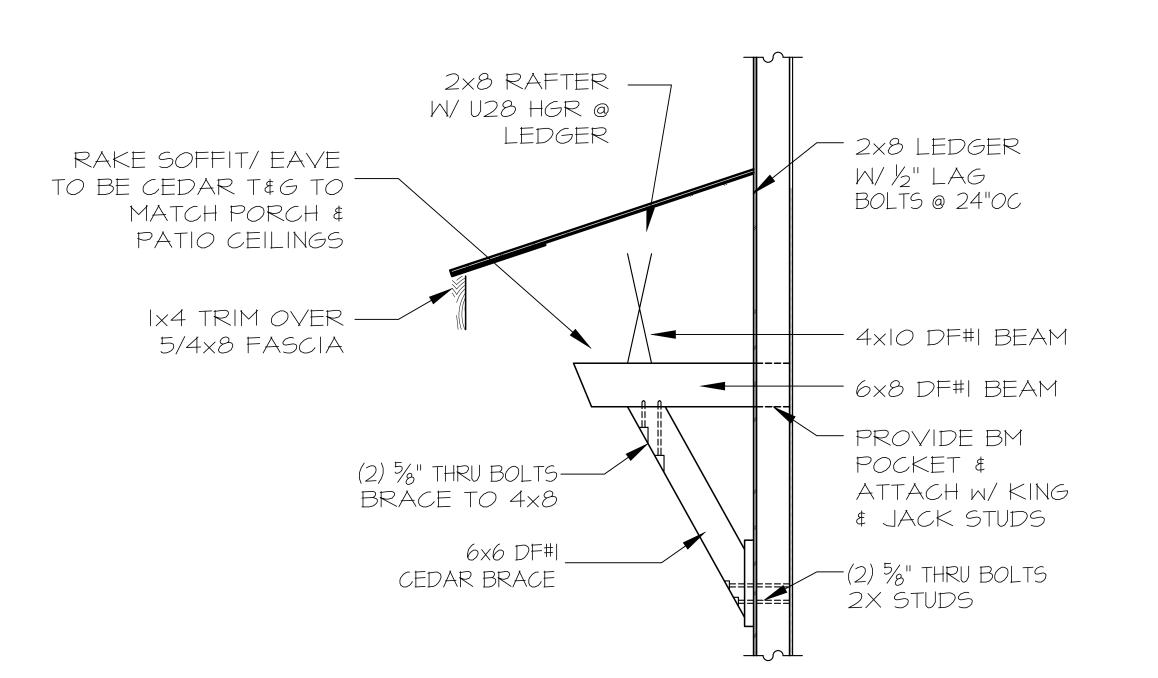
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### BASEMENT SLAB

4" CONC. SLAB ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

### GARAGE SLAB

4" CONC. SLAB ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

### PORCH SLAB

4" CONC. SLAB ON GRADE ON 6 MIL VAPOR BARRIER ON 4" MIN. GRANULAR FILL ON 95% COMPACTED FILL/VIRGIN SOIL

### GENERAL STRUCTURAL NOTES

### FOUNDATION

- <u>DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE</u> **\$ 2018 INTERNATIONAL BUILDING CODE**
- DESIGN LOADS: SOIL 2,000 PSF ALLOWABLE BEARING PRESSURE CONCRETE SHALL ATTAIN THE FOLLOWING MINIMUM COMPRESSIVE
- STRENGTHS IN 28 DAYS, U.N.O.: f'c = 2,500 psi: ...... FOUNDATION WALLS\*
- 2,500 psi: ...... FOOTINGS\* 2,500 psi: ...... INTERIOR SLABS ON GRADE 3,500 psi: ...... GARAGE & EXT. SLABS ON GRADE fy = 60,000 psi
- EQUIVALENT TO 3,000 PSI CONCRETE FOR WEATHERING POTENTIAL • ALL CONCRETE EXPOSED TO THE WEATHER SHALL NOT HAVE LESS THAN 5% OR MORE THAN 7% AIR ENTRAINMENT.

\* UTILIZE 51/2" SACK 2500 PSI CONCRETE MIXES THAT ARE

- FOUNDATION WALL DESIGN IS BASED ON BACKFILL SOIL
- CLASSIFICATIONS OF SC, ML-CL, OR CL (60 pcf) SOIL. • TYPICAL REINFORCEMENT DETAILS: LAP ALL REBAR 24" MIN.; BEND BARS AND LAP AT CORNERS; PROVIDE 6" HOOK INTO SUPPORTING FOOTINGS WHEN FOOTINGS INTERSECT; PROVIDE 3" MINIMUM COVER
- FOUNDATION WALLS SHALL BE BRACED, PRIOR TO BACKFILLING, BY EITHER ADEQUATE TEMPORARY BRACING OR INSTALLATION OF FIRST FLOOR DECK.

AT THE BOTTOM BARS AND 1 1/2" COVER AT THE SIDES.

- ALL FOOTINGS SHALL BEAR BELOW FROST LINE. CONSULT SOILS REPORT/ LOCAL MUNICIPALITY FOR MINIMUM DEPTH BELOW GRADE.
- 95% COMPACTED FILL. • PROVIDE CONTROL JOINTS AT ALL INSIDE CORNERS OF SLAB
- TO DEVELOP. (15'-0" O.C.) • FASTEN SILL PLATES TO FOUNDATION WALLS WITH 5/4" DIA. ANCHOR
- ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT W/ CONCRETE OR MASONRY FOUNDATION SHALL BE PRESERVATIVE TREATED
- BUILDER TO VERIFY CORROSION-RESISTANCE COMPATIBILITY OF HARDWARE & FASTENERS IN CONTACT W/ PRESERVATIVE-TREATED WOOD. CONTACT LUMBER & HARDWARE SUPPLIERS TO COORDINATE.

### ARCH/BUILDER TO VERIFY ALL DIMENSIONS

### HOLD-DOWN SCHEDULE

SIMPSON STHD14 (RJ) HOLD-DOWN

SYMBOL SPECIFICATION

SIMPSON CSI6 STRAP TIE (14" END LENGTH)

SIMPSON MSTC40 STRAP TIE

(CENTER STRAP ON FLOOR SYSTEM U.N.O.) SIMPSON MSTC66 STRAP TIE → HD-7

### MEANS & METHODS NOTES

THE STRUCTURE IS DESIGNED TO BE SELF SUPPORTING AND STABLE AFTER THE BUILDING IS FINISHED AND ALL PLAN, DETAIL, AND NOTE SPECIFICATIONS HAVE BEEN COMPLETED. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO DETERMINE THE ERECTION PROCEDURES AND SEQUENCE TO INSURE THE SAFETY OF THE BUILDING AND ITS COMPONENTS DURING CONSTRUCTION. THIS INCLUDES, BUT IS NOT LIMITED TO, THE ADDITION OF NECESSARY SHORING, SHEETING, TEMPORARY BRACING, GUYS, AND TIE-DOWNS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SHORING AND BRACING REQUIRED TO STABILIZE AND PROTECT EXISTING AND ADJACENT STRUCTURES AND SYSTEMS DURING COURSE OF DEMOLITION AND CONSTRUCTION OF THE PROJECT.

(CENTER STRAP ON FLOOR SYSTEM U.N.O.)

STRUCTURAL DESIGN AND SPECIFICATIONS ASSUME THAT ALL SUPPORTING AND NON-SUPPORTING ELEMENTS IN CONTACT WITH FLOOR FRAMING ARE LEVEL, INCLUDING, BUT NOT LIMITED TO; FOUNDATIONS, SLABS ON GRADE, BEAMS, WALLS, AND NON-BEARING ELEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY LEVELNESS AND MAKE ADJUSTMENTS AS NECESSARY, INCLUDING CONSIDERATION OF THOSE AREAS THAT MAY BE WITHIN CONTRACTUAL, INDUSTRY, OR WARRANTY TOLERANCES.

### ADDITIONAL NOTES FOR TRUSS \$ I-JOIST MANUFACTURER

ROOF TRUSS, FLOOR TRUSS AND ENGINEERED JOISTS SHALL BE DESIGNED TO MEET THE DIFFERENTIAL DEFLECTION CRITERIA BELOW, UNLESS NOTED OTHERWISE ON PLAN. MULHERN & KULP CANNOT BE HELD RESPONSIBLE FOR ANY STRUCTURAL ISSUES RELATED TO ANY BUILDING COMPONENT IF COMPONENT SHOP DRAWINGS ARE NOT SUBMITTED TO M&K FOR REVIEW PRIOR TO FABRICATION, DELIVERY, OR INSTALLATION.

TRUSSES SHALL BE DESIGNED SO THAT DIFFERENTIAL DEFLECTION BETWEEN ADJACENT PARALLEL TRUSSES OR GIRDER TRUSSES DOES NOT EXCEED THE FOLLOWING:

- A. ROOF TRUSSES: I/4" DEAD LOAD
- B. FLOOR TRUSSES, ATTIC TRUSSES, & I-JOISTS:
- 1/8" DEAD LOAD FLOOR TRUSSES & ATTIC TRUSSES ADJACENT TO FLOOR FRAMING BY OTHERS: LIMIT ABSOLUTE TRUSS DEFLECTION TO

3/16" DEAD LOAD. (NOT DIFFERENTIAL DEFLECTION)

### LOADING AND DESIGN

DEAD LOAD (PSF): ROOF TRUSS TOP CHORD: ROOF TRUSS BOT CHORD: ROOF RAFTERS: FLOOR (TRUSSES) FLOOR (JOISTS): TILE FLOORS:

ROOF: GARAGE

SNOW LOAD: ROOF SNOW LOAD (Pt) (PSF):

THERMAL FACTOR (C1): LATERAL DESIGN LOADS: WIND LOAD: (IBC 1609) SPEED (Vuit) (MPH):

INTERNAL PRESSURE COEFF. (GCpl): TOPOGRAPHIC FACTOR (Kzt):

• FOOTINGS AND SLABS ON GRADE SHALL BEAR ON VIRGIN SOIL OR

EDGES, AND OTHER LOCATIONS WHERE SLAB CRACKS ARE LIKELY

BOLTS W/ MIN. 3"x3"x ¼" PLATE WASHERS (EDGE OF WASHER TO BE LOCATED WITHIN 为" OF EXTERIOR EDGE OF SILL PLATE) & NUTS @ 6'-0" O.C. @ 2-STORY & 4'-0" O.C. @ 3-STORY CONDITIONS w/ 7" MIN. EMBEDMENT INTO CONC. PROVIDE A MINIMUM OF 2 ANCHORS PER PLATE, 12" MAXIMUM FROM PLATE ENDS, U.N.O. (SEE FND. DETAILS).

### PARAMETERS

## GRAVITY DESIGN LOADS:

LIVE LOAD (PSF): RESIDENTIAL LIVING AREAS: RESIDENTIAL SLEEPING AREAS: RESIDENTIAL WOOD DECKS:

1.2

1.0

100

±0.18

1.6

GROUND SNOW LOAD (Pg) (PSF): SNOW EXPOSURE FACTOR (C.): SNOW LOAD IMPORTANCE FACTOR (I):

WIND RISK CATEGORY IMPORTANCE FACTOR (Iw): EXPOSURE CATEGORY:

> SEISMIC LOAD: (IBC 1613) SEISMIC RISK CATEGORY : SEISMIC IMPORTANCE FACTOR (I.): 1.0 MAPPED SPECTRAL RESPONSE: S₅: 1.428 Sı: 0.496 SITE CLASS: D (DEFAULT)

SPECTRAL RESPONSE COEFF.: Sps: 0.952 SEISMIC DESIGN CATEGORY: BASIC SEISMIC-FORCE-RESISTING SYS: LIGHT FRAMED WALLS W/WOOD STRUCTURAL PANELS ULTIMATE BASE SHEAR: LONG: 16k TRANS: 16k

SEISMIC RESPONSE COEFF. (Cs): TRANS: 0.176 LONG: 0.176 RESPONSE MODIFICATION FACTOR (R): TRANS: 6.5 LONG: 6.5

ANALYSIS PROCEDURE USED: EQUIVALENT LATERAL FORCE

### LATERAL BRACING NOTES

THIS HOME HAS BEEN ENGINEERED TO RESIST LATERAL FORCES RESULTING FROM: 100 MPH WIND SPEED, EXP. B

(ASCE 7-16 WIND MAP, PER IRC R301.2.1.1) RISK CAT. 2 & SEISMIC CAT. D2.

0 MPH WIND IN 2018 IRC MAF ENGINEERED DESIGN WAS COMPLETED PER 2018 IBC (SECTION 1609 \$ 1613) \$ ASCE 7-16. AS PERMITTED BY R301.1.3 OF THE 2018 IRC. ACCORDINGLY, THIS HOME, AS DOCUMENTED AND DETAILED HEREWITHIN, IS ADEQUATE TO RESIST THE CODE REQUIRED LATERAL FORCES, AND DOES NOT NEED TO CONFORM TO THE

### STANDARD EXTERIOR WALL SHEATHING <u>SPECIFICATIONS</u>

PRESCRIPTIVE PROVISIONS OF R602.10.

(INTERIOR WALL SPECIFICATION WHERE NOTED ON PLANS)

• 1/6" OSB OR 15/32" PLYWOOD:

FASTEN SHEATHING W/ 21/2"x0.131" NAILS @ 6"o.c. AT ALL SUPPORTED PANEL EDGES AND 12" O.C. IN THE PANEL FIELD. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED TO SUPPORT PANEL EDGE. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED PER THIS SPECIFICATION U.N.O. ON

### 3" o.c. EDGE NAILING (WHERE NOTED ON PLANS)

• 1/6" OSB OR 15/32" PLYWOOD: ONLY AT LOCATIONS INDICATED ON PLANS - SHEATHE WALL SHOWN WITH %" OSB. FASTEN SHEATHING W/ 25"x0.131" NAILS @ 3" O.C. AT EDGES AND 12" O.C. AT CENTER. ALL SHEATHING SHEET PANEL EDGES SHALL OCCUR OVER WALL FRAMING MEMBERS OR 2x HORIZONTAL BLOCKING SHALL BE PROVIDED

TO SUPPORT PANEL EDGE AND 3" O.C. FASTENING.

- I. LATERAL ANALYSIS ASSUMES STUD SPACING @ 16" o.c. ALL SHEAR WALLS SHALL HAVE DOUBLE TOP PLATES FASTENED TOGETHER W/3"x0.131" NAILS @ 8" O.C. USE (12)31/2"x0.135" NAILS AT EACH LAP SPLICE, (6) EACH SIDE OF
- ALL EXTERIOR WALLS ARE CONTINUOUSLY SHEATHED.
- ALL INTERIOR SHEAR WALLS AND EXTERIOR WALLS ARE SHEATHED ABOVE AND BELOW OPENINGS.

### LEGEND

• IIIIII INTERIOR BEARING WALL

JOINT (TYP. U.N.O)

- □□□□□□ BEARING WALL ABOVE (B.W.A.), OR SHEARWALL ABOVE (S.W.A.)
- --- BEAM / HEADER . INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" o.c. EDGE NAILING
- AREA OF OVERFRAMING
- JL METAL HANGER
- \* INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
- INDICATES HOLDOWN.



### GENERAL STRUCTURAL NOTES

### DESIGN PARAMETERS

• DESIGN IS BASED ON 2018 INTERNATIONAL RESIDENTIAL CODE

<u> \$ 2018 INTERNATIONAL BUILDING CODE</u> • WOOD FRAME ENGINEERING IS BASED ON NDS, "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" - LATEST EDITION.

### GENERAL FRAMING

- EXTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) @ 16" O.C. (w/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.
- PLANS) @ 16" O.C. (W/ DOUBLE TOP PLATE) HEM FIR (HF) "STUD" GRADE LUMBER, OR BETTER, U.N.O.

• INTERIOR BEARING WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON

- ALL NON-BEARING INTERIOR STUD WALLS SHALL BE CONSTRUCTED WITH 2x 'STUD' GRADE MEMBERS SPACED @ 24" O.C. (MAX.)
- ALL WALLS TALLER THEN TYP. PLATE HEIGHT SHALL BE CONSIDERED BALLOON FRAMED & SHALL BE CONSTRUCTED FROM FLOOR TO UNDERSIDE OF FRAMING AT NEXT LEVEL. B.F. WALLS SHALL BE 2x4 OR 2x6 (AS SHOWN ON PLANS) HEM FIR (HF) #2 GRADE LUMBER, OR BETTER.
- ALL HEADERS SHALL BE SUPPORTED BY (1)2x JACK STUD & (1)2x KING STUD, MINIMUM. - THE NUMBER OF STUDS SPECIFIED AT A SUPPORT INDICATES THE NUMBER OF JACK STUDS REQUIRED, U.N.O..
- ALL 2x6 AND LARGER SOLID SAWN BEAMS/HEADERS SHALL BE HEM FIR #2 (HF #2) OR BETTER. ALL 4x6 AND LARGER SOLID SAWN
- LUMBER SHALL BE DOUG FIR #2 (DF #2) OR BETTER. • ALL FRAMING LUMBER SHALL BE KILN DRIED TO 15% MC (KD-15).
- ALL TYP. NAIL FASTENER REQUIREMENTS ARE NOTED IN GENERAL NOTES, IN DETAILS, OR ON PLANS. ALL NAILS SPECIFIED ARE MIN DIAMETER AND LENGTH REQUIRED FOR CONNECTION. ALL HANGER NAILS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS FOR MAX CHARTED CAPACITY. NOTE: HANGERS USE COMMON NAIL DIAMETERS NOT TYPICAL FRAMING GUN NAILS.
- FASTEN ALL BEAMS TO COLUMNS, OR FLUSH BEAMS TO SUPPORTING BEAMS, W/ (4) 3"x0.131" TOENAILS (MIN.), TYP. U.N.O.

PSI; E=1.8x10^6 PSI; DF/DF; 24F-V4 (U.N.O)

MATERIAL MAY BE USED AS EQUAL.

- PROVIDE SOLID BLOCKING IN FLOOR SYSTEM UNDER ALL POSTS & HOLD-DOWNS CONTINUOUS TO FOUNDATION/BEARING. BLOCKING TO MATCH POST ABOVE.
- ENGINEERED LUMBER TO MEET OR EXCEED THE FOLLOWING: • LSL MEMBERS - Fb=2325 PSI; Fv=310 PSI; E=1.55x10^6 PSI • LVL MEMBERS - Fb=2600 PSI; Fv=285 PSI; E=2.0x10^6 PSI • GLB MEMBERS - Fb(+)=2400 PSI; Fb(-)=1850 PSI; Fv=265
- ENGINEERED LUMBER POSTS TO MEET OR EXCEED THE FOLLOWING: • LVL MEMBERS - Fb=2400 PSI; FcII=2500 PSI; E=1.8x10^6 PSI FACE NAIL MULTI-PLY 2x BEAMS & HEADERS W/ 3-ROWS OF

3"x0.131" NAILS (MIN.) @ 12" O.C. STAGGERED. APPLY NAILING FROM

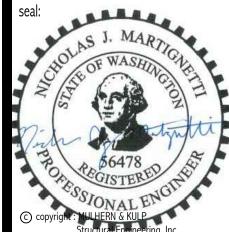
- BOTH FACES @ 3-PLY OR MORE CONDITIONS. UTILIZE 2 ROWS OF NAILS FOR 2x6 \$ 2x8 MEMBERS. • ALL MEMBERS SPECIFIED AS MULTI-PLY 13/4" SHALL BE FASTENED TOGETHER PER MANUFACTURER. EQUIVALENT WIDTH SOLID
- FASTEN 2x WOOD PLATES TO TOP FLANGE OF STEEL BEAMS w/P.A.F.s ('HILTI' X-U PINS OR EQUAL (0.157" DIA. x 2" LONG MIN.)) @ 16" O.C. STAGGERED, OR 1/2" DIA. BOLTS @ 48" O.C., STAGGERED. • REFER TO IRC FASTENING SCHEDULE TABLE R602.3(I) FOR ALL CONNECTIONS, TYP. U.N.O.

### FLOOR FRAMING

- I-JOISTS/TRUSSES SHALL BE DESIGNED BY MANUF. TO MEET OR EXCEED L/480 LIVE LOAD DEFLECTION CRITERIA AND SHALL RUN CONTINUOUS OVER SUPPORTS WHEREVER POSSIBLE. ALL LOADS SHOWN ON PLAN FOR MANUF. DESIGNS ARE ASD LEVEL LOADS, U.N.O. (EXCLUDES STONE/MARBLE OR WET BED CONSTRUCTED FLOORS - CONTACT M&K FOR EXCLUDED DESIGNS).
- ALL METAL I-JOIST/TRUSS HANGERS SHALL BE SPECIFIED BY I-JOIST/TRUSS MANUFACTURER, UNLESS OTHERWISE NOTED.
- I-JOIST/TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- 2x FLOOR JOISTS HAVE BEEN DESIGNED TO MEET OR EXCEED L/360 LIVE LOAD DEFLECTION CRITERIA.
- TYPICAL 2x JOIST HANGERS (U.N.O. ON PLANS): SINGLE PLY: SIMPSON LUS210 DOUBLES: SIMPSON LUS210-2
- FLOOR SHEATHING SHALL BE 23/32" A.P.A. RATED 'STURD-I-FLOOR' 24" O.C, EXPOSURE I (OR APPROVED EQUAL) WITH TONGUE AND GROOVE EDGES. FASTEN TO FRAMING MEMBERS W GLUE AND 2 ½" x 0.131" NAILS @ 6"o.c. @ PANEL EDGES \$ @ 12"o.c. FIELD.
- ALL FLUSH CONNECTIONS SHALL BE CONNECTED WITH HANGER APPROPRIATE FOR MEMBER SIZE. U.N.O.
- FASTEN HANGERS TO SINGLE PLY FLUSH BEAMS w/ 1/2" LONG NAILS.

### ROOF FRAMING

- FASTEN EACH ROOF TRUSS TO TOP PLATE W/ (4) 3"x0.I31" TOENAILS (MIN.) & (I) 'SIMPSON' SDWC15600 SCREW @ ALL BEARING POINTS. PROVIDE (2) 'SIMPSON' SDWC15600 SCREWS AT 2-PLY GIRDER TRUSSES, (3) 'SIMPSON' SDWC15600 SCREWS AT 3-PLY
- GIRDER TRUSSES AT ALL BEARING POINTS. • FASTEN EACH ROOF RAFTER TO TOP PLATE WITH (I) 'SIMPSON' SDWC15600 SCREW. PROVIDE (2) 'SIMPSON' SDWC15600 SCREWS
- AT FLUSH BEAMS IN THE ROOF AT ALL BEARING POINTS. • ROOF SHEATHING SHALL BE 7/16" A.P.A. RATED SHEATHING 24/16 EXPOSURE I (OR APPROVED EQUAL). FASTEN TO FRAMING MEMBERS W/ 2 ½" x 0.131" NAILS @ 6"o.c. AT PANEL EDGES \$ @ 12" O.C. AT INTERMEDIATE SUPPORTS. ROOF SHEATHING SHALL EXTEND BELOW ALL INSTANCES OF OVERFRAMING. BLOCKING SHALL BE INSTALLED
- AS REQUIRED TO LIMIT ROOF SHEATHING SPANS TO 24" MAX. • WITHIN 48" OF ALL ROOF EDGES, RIDGES, & HIPS FASTEN ROOF SHEATHING FIELDS PER EDGE NAILING SPEC.
- ALL METAL HANGERS SHALL BE SPECIFIED BY THE TRUSS
- MANUFACTURER, UNLESS OTHERWISE NOTED. • ROOF TRUSS SHOP DRAWINGS SHALL BE SUBMITTED TO ARCHITECT AND ENGINEER FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR DELIVERY.
- ROOF TRUSS SHOP DRAWINGS & CALCULATIONS SHALL BE PREPARED BY A WASHINGTON STATE LICENSED ENGINEER AND SHALL BE DESIGNED FOR UNBALANCED SNOW LOADING PER ASCE 7-16, SECTION 7.6.
- ERECT AND INSTALL ROOF TRUSSES PER WTCA & TPI'S BCSI I-08 "GUIDE TO GOOD PRACTICE FOR HANDLING, INSTALLING & BRACING OF METAL PLATE CONNECTED WOOD TRUSSES."
- FASTEN OVER-FRAMED TRUSS SETS TO TRUSSES BELOW w/ (2) 3"x0.131" TOENAILS AT EA. TRUSS. • SUPPORT PORCH & SHORT SPAN ROOF TRUSSES (UP TO 6' TRIB.)
- w/2x6 LEDGER FASTENED TO FRAMING w/(3) 3"x0.131" NAILS @ 16" o. • FASTEN ALL INTERIOR NON-BEARING PARTITION WALLS TO TRUSS BOTTOM CHORD ABOVE WITH SIMPSON STC CLIPS AT 24" O.C. MAX. PROVIDE BLOCKING BETWEEN THE TRUSS BOTTOM CHORDS AS REQUIRED FOR THE PARALLEL CONDITIONS.



right: MULHERN & KULP Structural Engineering.

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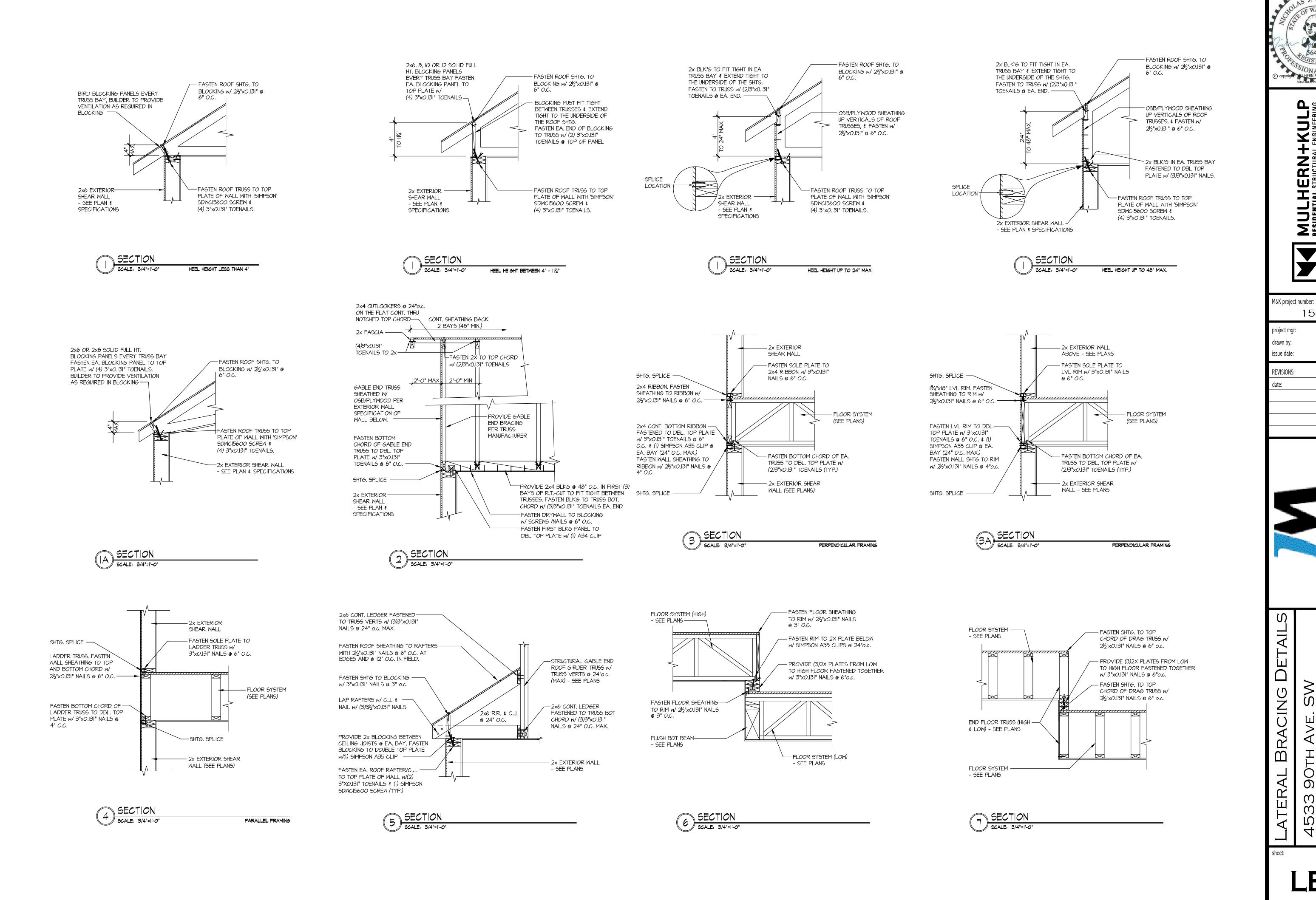
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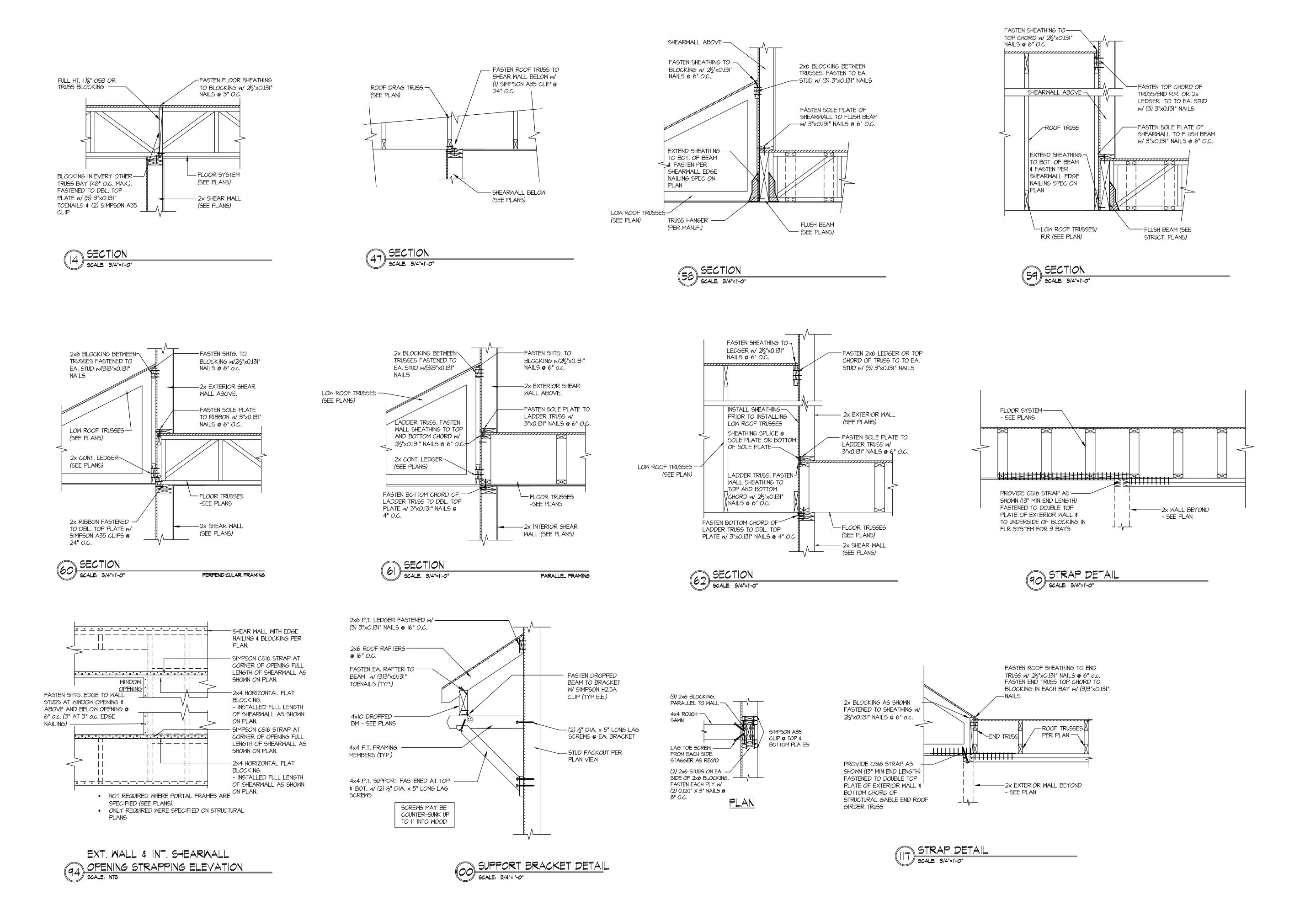
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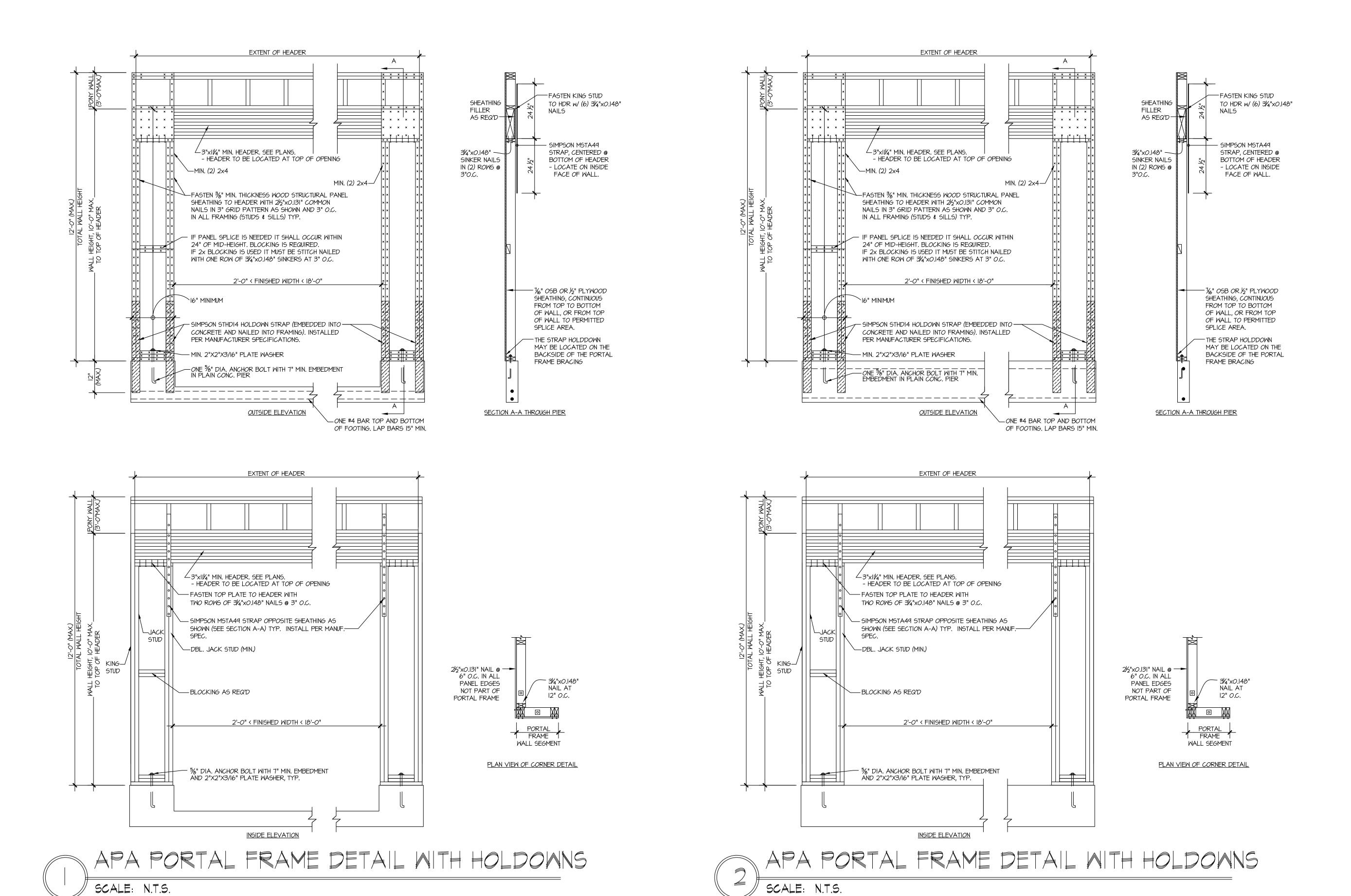
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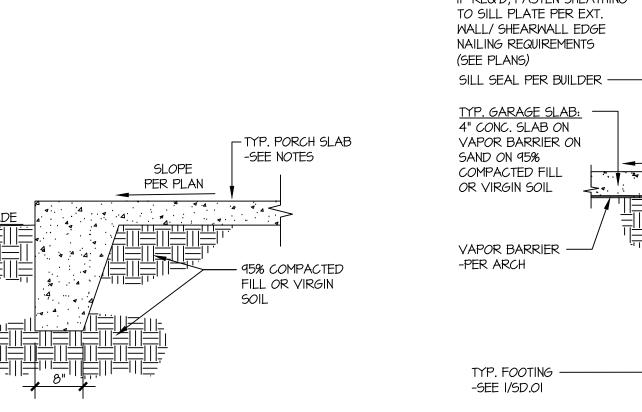
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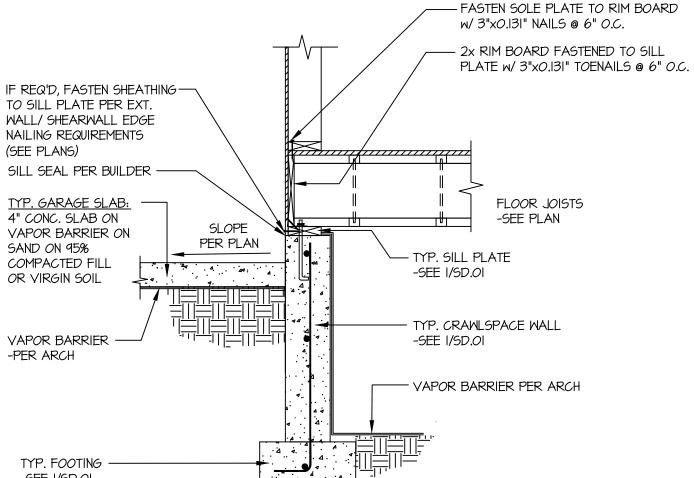
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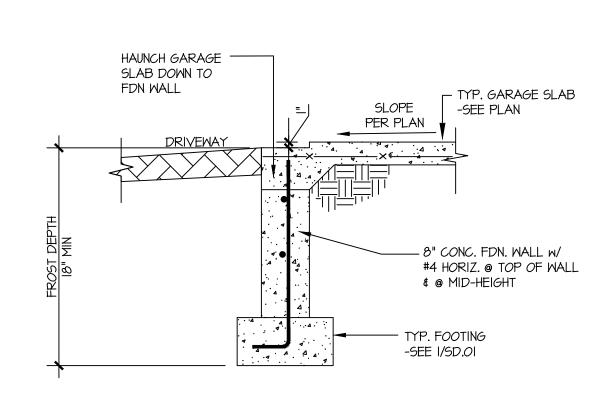
### FASTEN SHEATHING TO -SILL PLATE PER EXT. - FASTEN SOLE PLATE TO WALL/ SHEATHING EDGE RIM BOARD w/ 3"x0.131" NAILING REQUIREMENTS NAILS @ 6" O.C. (SEE PLANS) - 2x8 P.T. PLATE w/ %" DIA. x 9" LONG A.B. @ 6' O.C. w/ 3"x3"x1/4" PLATE WASHER. PROVIDE (2) PER TYP. PORCH SLAB: 4" PLAIN CONC. SLAB PLATE, MIN. 12" FROM EACH END. ON 95% COMPACTED - FLOOR JOISTS -SEE PLAN SILL SEAL -PER BUILDER - TOP FLANGE JOIST HANGER COMPACTED --PER SUPPLIER BACKFILL - TYP. CRAWLSPACE WALL -SEE I/SD.OI 8" LONG #4 DOWELS -@ 12" O.C. HAMMERED -VAPOR BARRIER INTO ½" DIA. x 2" DEEP PER ARCH HOLES (NO EPOXY) TYP. FOOTING --SEE I/SD.OI



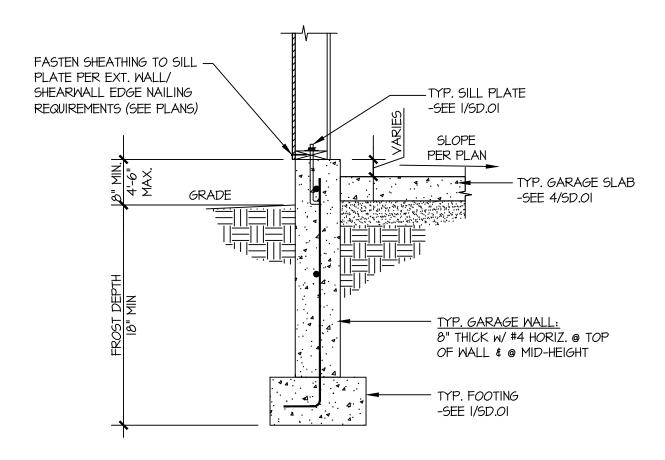


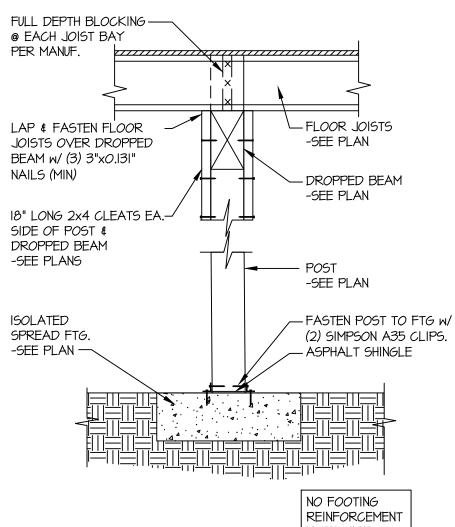
TYPICAL CRAWLSPACE FOUNDATION @ GARAGE

## TYPICAL CRANLSPACE FOUNDATION





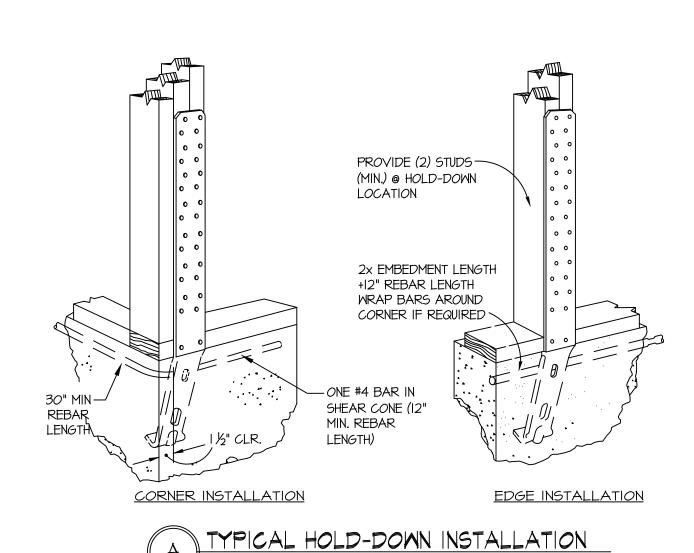




TYPICAL FOOTING @ PORCH SLAB

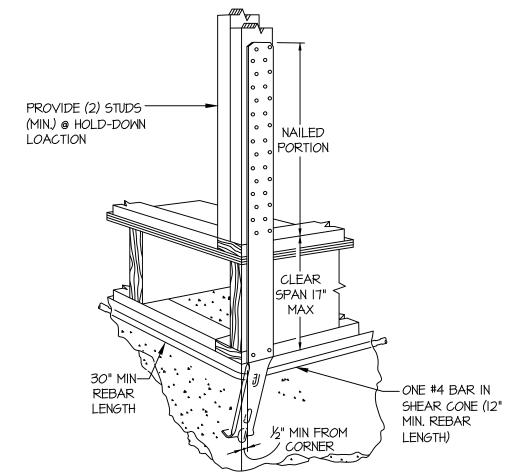


### TYPICAL CONCRETE FOOTING @ GARAGE DOOR OPENING 5 SCALE: 3/4"=1'-0"



NOT TO SCALE

SIMPSON STHD HD @ FOUNDATION



TYPICAL EXT. GARAGE FOUNDATION

SCALE: 3/4"=1'-0"

TYPICAL HOLD-DOWN INSTALLATION

SIMPSON STHD HD @ FLOOR FRAMING



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M&K project number:

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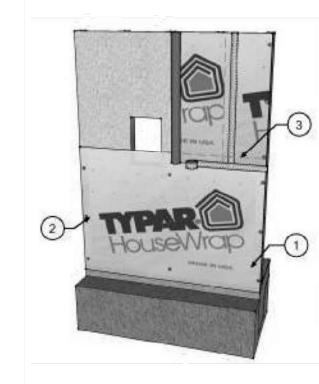
Vertical wall Installation

Install Typer® HouseWrap over an approved exterior sheathing after the framing is complete and before the windows and doors have been installed. Plastic capped fasteners should be used and spaced at 32" OC (vertically and horizontally) when being applied over 7/16" OSB or 15/32" plywood. When installing over metal framing use screws with washers. If the windows and doors have already been installed, trim the Typar WRB close to the window frame and flash according to the Typar Flashing instructions.

Start at the bottom of one end of the wall with the printed side facing out. When starting at a corner, overlap by a minimum of 12".

Place the housewrap roll horizontally and roll out the first course evenly, covering rough window and door openings. A minimum of a 1" (25.4 mm) overlap on the sill plate is required; however, for maximum protection, a 2-4" (51-102 mm) overlap on the sill plate is recommended.

Pull the Typar snug and avoid wrinkles and creases. Ensure that the product is level.



Fasten the Typar to the stud using plastic capped nails or plastic capped staples at 32" O.C. both horizontally and vertically.



STEP 3

The upper layer of Typar housewrap should overlap the bottom layer by a minimum of 6" (152 mm) vertically and horizontally. Ensure proper shingling throughout the installation to properly shed water. Once the structure is completely covered, tape all seams and penetrations using Typar® construction tape. (Please refer to the Typar® flashing instructions for more detailed instruction on penetrations and window flashing installation).

After the installation complete and before the exterior cladding is installed, inspect the Typar® for tears. Repair the issues with Typar Construction tape or Typar Flashing.



Window and Door Preparation **Preparing for Window Installation** 

After wrapping the structure and covering all rough openings. Cut a horizontal line across the top of the window opening. The cut should not extend past the rough opening.

Start at the top center and make a vertical cut running two-thirds of the way down the opening.

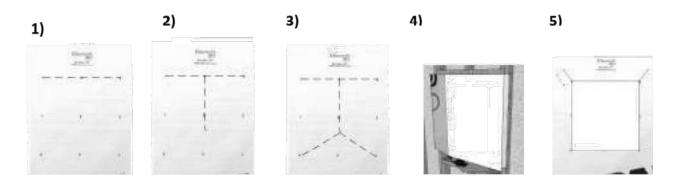
From that stopping point, cut diagonally to both lower left and right corners of the opening.

Pull each of the flaps tightly inside the rough opening and attach them to the frame with nails,

STEP 5

staples, or tape.

At the window header, make a 6" diagonal cut at a 45 degree angle on both corners. Fold the material up exposing the sheathing. Now install the window or door according to the manufacturer instructions. The final step is to flash all seams and flanges securely (refer to Typar® Flashing instructions). Typar® flashing should also be installed in accordance with window manufacturer instructions and according to the ASTM 2112 standard.



pgi



Typical Window Flashing

Install the window sill pan according to the manufacturer's instructions. Alternatively, you can create a sill pan using Typar Flashing Flex. Cut a piece that is 12" longer than the length of the rough opening window sill.

Carefully pull off the release liner. Center the Flashing in the center of the rough opening and work you way toward the corners and then up the sides. Note: the flex flashing should overlap to the outside of the wall by 2-3". Only stretch the flashing in the corners.

Alternatively to above, you can create a sill pan by installing TYPAR Straight Flashing along the bottom sill and installing TYPAR Flashing Flex on the corners only.

If needed, secure the fanned edges of the TYPAR Flashing Flex with a plastic capped nail/ plastic capped staple.

STEP 2

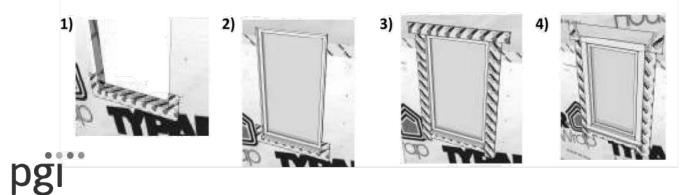
Apply a continuous bead of sealant to the back of the window or on the wall. Do not apply the sealant across the bottom of the sill or on the bottom of the window. This area is left open to allow for proper drainage.

Install the window according to the manufacturer's installation instructions.

Cut two pieces of Typar Flashing long enough to extend 1" above the window head flange and 1" below the window sill flange. Carefully peel off the release liner and apply the flashing on both sides of the window. Make sure to cover the entire window flange, press firmly either by hand or using a J-roller. Ensure there are no wrinkles or bubbles.

Cut a piece of Typar Flashing for the head flashing. Ensure that the piece is long enough to extend by 1' on both sides of the jamb flashing. Remove the release liner and carefully install the flashing. Cover the window flange and press firmly by hand or using a J-roller.

Release the upper flap of the WRB that you cut earlier. Tape the 45 degree cuts using Typar Construction Tape or Typar Flashing. DO NOT tape the WRB along the top of the window flange.





Flashing Penetrations

Penetrations such as exhaust fans, exterior electrical outlets, dryer vents, exterior lights, and gas outlets are a common entrance for bulk water into the wall cavity. Using Typar flashing will ensure proper water hold out and maintain the integrity of the structure.

The method is similar to the flashing a window. Start by flashing the bottom of the penetration. Ensure to shingle the upper tape over the bottom tape.

Some penetrations have flanges, such as dryer vents. These penetrations should be flashed according to

Install the vent according to the manufacturer's recommendations. Trim the housewrap as close as possible around the perimeter of the vent.

Flash the vent using the same method as windows. Starting at the bottom flange; cut the flashing so that it extends past the flanges by 1" on both sides. Now apply the flashing to the sides of the vent. Remember to extend the flashing 1" on both top and bottom. Make sure to smooth out wrinkles and air bubbles. The use of a J-roller is optional.

STEP 3

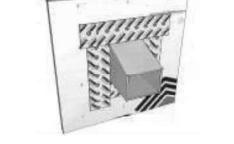
The Final step is to install the flashing across the top. Extend the flashing out at least 1" on both

Note: This type of installation is suitable for several different penetrations. Always use the shingling method and ensure a tight seal around the flange/penetration.

Typar® HouseWrap is part of a complete Weather Protection System, which also includes Typar® Metro Wrap, Typar® Flashings and Construction tape

For more information, visit www.Typar.com





MADE IN USA. ICC #ESR-1404 • CCMC #12884-R • CCMC #12892-R Please visit typar.com for installation instructions and warranty information

7525 SE 24th St., 487 Mercer Island, WA 98040 425.266.9100

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Descrip	tion	
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plan name: -marketing name: plan number: --

mark sys. number:--

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each

The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC.

respectively shall govern.

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Submittal Date

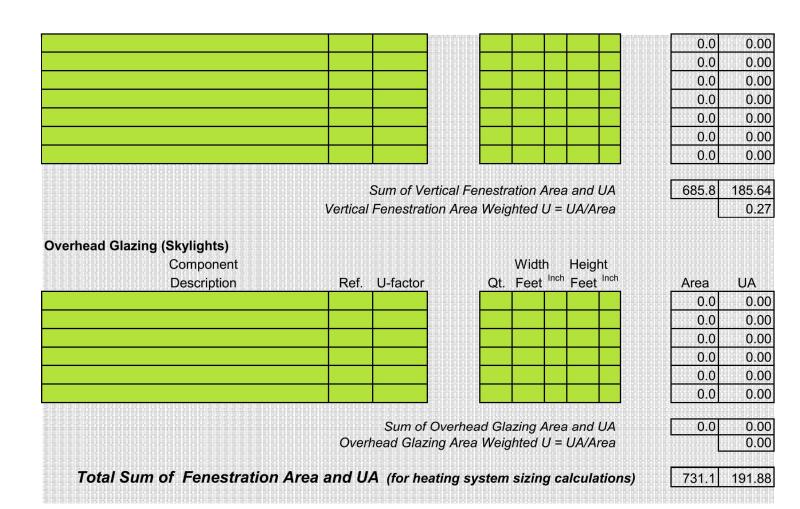
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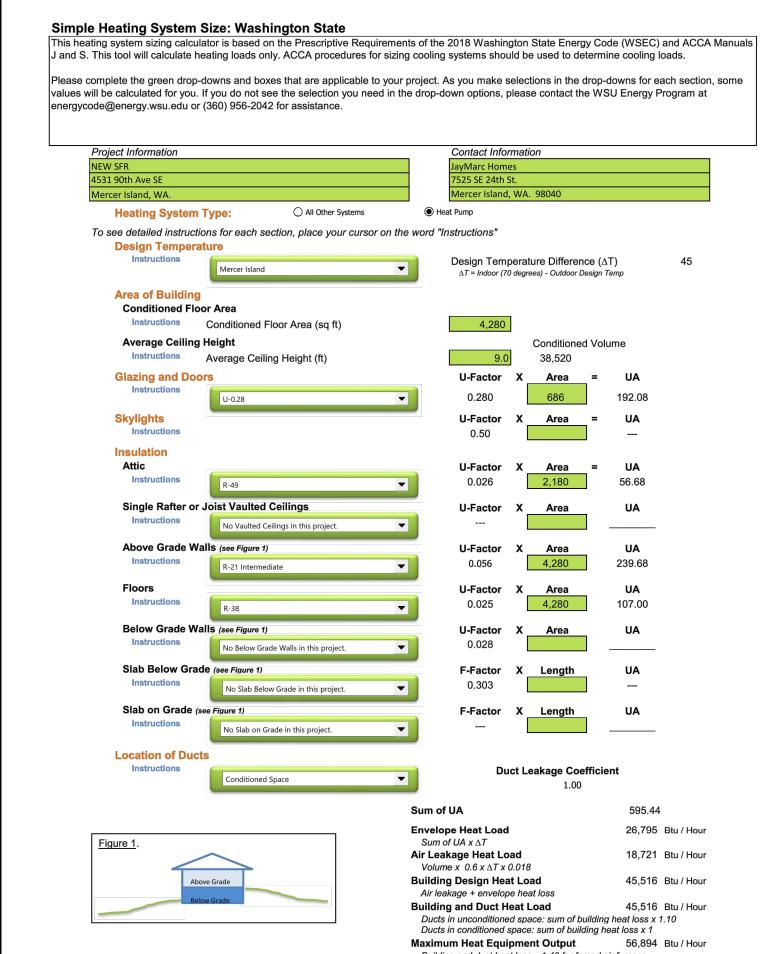
Design Firm

Drawn by:

Checked by:







Building and duct heat loss x 1.40 for forced air furnace Building and duct heat loss x 1.25 for heat pump

(07/01/13)

These requirements apply to all IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses).

Project Information					
4531 90th Ave SE, Mercer Island, WA.					

**Contact Information** Ryan Redman - JayMarc Homes - 214.663.7599

Instructions: This single-family project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. Based on the size of the structure, the appropriate number of additional credits are checked as chosen by the permit applicant.

Provide all information from the following tables as building permit drawings: Table R402.1 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and 406.3 - Energy Credits.

Authorized Representative Ryan Redman Digitally signed by Ryan Redman Date: 2021.03.05 11:48:40 -08'00' Date 01/18/2022

All Climate Zones (Table R402.1.1)				
	R-Value <sup>a</sup>	U-Factor <sup>a</sup>		
Fenestration U-Factor <sup>b</sup>	n/a	0.30		
Skylight U-Factor <sup>b</sup>	n/a	0.50		
Glazed Fenestration SHGC b,e	n/a	n/a		
Ceiling <sup>e</sup>	49	0.026		
Wood Frame Wall <sup>g,h</sup>	21 int	0.056		
Floor	30	0.029		
Below Grade Wall <sup>c,h</sup>	10/15/21 int + TB	0.042		
Slab <sup>d,f</sup> R-Value & Depth	10, 2 ft	n/a		

- R-values are minimums. U-factors and SHGC are maximums. When insulation is installed in a cavity that is less a than the label or design thickness of the insulation, the compressed R-value of the insulation from Appendix Table A101.4 shall not be less than the *R*-value specified in the table.
- b The fenestration *U*-factor column excludes skylights.
- "10/15/21 +5TB" means R-10 continuous insulation on the exterior of the wall, or R-15 continuous insulation on the interior of the wall, or R-21 cavity insulation plus a thermal break between the slab and the basement wall at c the interior of the basement wall. "10/15/21 +5TB" shall be permitted to be met with R-13 cavity insulation on the interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the wall. "5TB"
- means R-5 thermal break between floor slab and basement wall.
- d R-10 continuous insulation is required under heated slab on grade floors. See Section R402.2.9.1. For single rafter- or joist-vaulted ceilings, the insulation may be reduced to R-38 if the full insulation depth extends over the top plate of the exterior wall.
- R-7.5 continuous insulation installed over an existing slab is deemed to be equivalent to the required perimeter f slab insulation when applied to existing slabs complying with Section R503.1.1. If foam plastic is used, it shall meet the requirements for thermal barriers protecting foam plastics.
- For log structures developed in compliance with Standard ICC 400, log walls shall meet the requirements for g climate zone 5 of ICC 400.
- Int. (intermediate framing) denotes framing and insulation as described in Section A103.2.2 including standard
- h framing 16 inches on center, 78% of the wall cavity insulated and headers insulated with a minimum of R-10

2018 Washington State Energy Code – Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family – New & Additions (effective February 1, 2021)

Each dwelling unit *in a residential building* shall comply with sufficient options from Table R406.2 (fuel normalization credits) and Table 406.3 (energy credits) to achieve the following minimum number of credits. To claim this credit, the building permit drawings shall specify the option selected and the maximum tested building air leakage, and show the qualifying ventilation system and its control sequence

- of operation.
- 1. Small Dwelling Unit: 3 credits Dwelling units less than 1.500 sf in conditioned floor area with less than 300 sf of fenestration area.
- Additions to existing building that are greater than 500 sf of heated floor area but less than 1,500 sf. 2. Medium Dwelling Unit: 6 credits
- All dwelling units that are not included in #1 or #3
- 3. Large Dwelling Unit: 7 credits Dwelling units exceeding 5,000 sf of conditioned floor area
- 4. Additions less than 500 square feet: 1.5 credits All other additions shall meet 1-3 above

### Before selecting your credits on this Summary table, review the details in Table 406.3 (Single Family), on page 4.

Summary of Table R406.2

Heating Options	Fuel Normalization Descriptions		select ONE g option	User Notes
1	Combustion heating minimum NAECA <sup>b</sup>	0.0	0	
2	Heat pump <sup>c</sup>	1.0	•	
3	Electric resistance heat only - furnace or zonal	-1.0	0	
4	DHP with zonal electric resistance per option 3.4	0.5	0	
5	All other heating systems	-1.0	0	
Energy Options	Energy Credit Option Descriptions	energy option	select ONE on from each gory <sup>d</sup>	
1.1	2ffmm22222mdm22222	0.5	0	
1.2	Efficient Building Envelope	1.0	0	
1.3	Efficient Building Envelope	0.5	•	
1.4	Efficient Building Envelope	1.0	0	
1.5	Efficient Building Envelope	2.0	0	
1.6	Efficient Building Envelope	3.0	0	
1.7	Efficient Building Envelope	0.5	0	
2.1	Air Leakage Control and Efficient Ventilation	0.5	0	
2.2	Air Leakage Control and Efficient Ventilation	1.0	0	
2.3	Air Leakage Control and Efficient Ventilation	1.5	0	
2.4	Air Leakage Control and Efficient Ventilation	2.0	0	
3.1ª	High Efficiency HVAC	1.0	0	
3.2	High Efficiency HVAC	1.0	0	
3.3ª	High Efficiency HVAC	1.5	0	
3.4	High Efficiency HVAC	1.5	0	
3.5	High Efficiency HVAC	1.5	•	
3.6ª	High Efficiency HVAC		0	
4.1	High Efficiency HVAC Distribution System	0.5	0	
4.2	High Efficiency HVAC Distribution System	1.0	•	
	• • • • • • • • • • • • • • • • • • • •			

2018 Washington State Energy Code – Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family – New & Additions (effective February 1, 2021)

Energy Options	Summary of Table  Energy Credit Option Descriptions (cont.)	Credits - s energy op	select ONE otion from tegory d	User Notes	
5.1 <sup>d</sup>	Efficient Water Heating	0.5			
5.2	Efficient Water Heating	0.5	0		
5.3	Efficient Water Heating	1.0	0		
5.4	Efficient Water Heating	1.5	0		
5.5	Efficient Water Heating	2.0	•		
5.6	Efficient Water Heating	2.5	0		
6.1 <sup>e</sup>	Renewable Electric Energy (3 credits max)	1.0			
7.1	Appliance Package	0.5			
Total Credits			6.0	Calculate Total	Clear Form

- a. An alternative heating source sized at a maximum of 0.5 W/sf (equivalent) of heated floor area or 500 W, whichever is bigger, may be installed in the dwelling unit.
- b. Equipment listed in Table C403.3.2(4) or C403.3.2(5)
- c. Equipment listed in Table C403.3.2(1) or C403.3.2(2)
- d. You cannot select more than one option from any category EXCEPT in category 5. Option 5.1 may be combined
- with options 5.2 through 5.6. See Table 406.3.
- e. 1.0 credit for each 1,200 kWh of electrical generation provided annually, up to 3 credits max. See the complete Table R406.2 for all requirements and option descriptions.
- f. Use the single radiobutton in the upper right of the second column to deselect radiobuttons in that group.

Please print only pages 1 through 3 of this worksheet for submission to your building office

PROVIDE HEATING AND COOLING DESIGN LOADS CALCULATION FOR SIZING THE HVAC SYSTEM PER WSEC-R403.7

PER WSEC R402.4, THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL (R402.4.1.2).

PER WSEC R403.3.3, DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED AND BE LEAK TESTED.

PER WSEC R404.I. A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXURES SHALL BE HIGH EFFICIENCY LAMPS.

PROVIDE CERTIFICATE REPORT PER R405.4.2 IN 2018 MSEC.

7525 SE 24th St., 487 Mercer Island, WA 98040 425.266.9100

Description

*0*1.20.22 S.K. REVISIONS

06.03.22 CITY PLAN REVIEW COMMENT

d b Oth Isla 

plan name: marketing name: XXXXXX plan number: mark sys. number:--

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern.

The drawings in this set are

instruments of service and shall remain the property of JayMarc Homes, LLC.

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*0*1.21.22 Submittal Date

Sheet Title/Description

JAYMARC HOMES Design Firm

Drawn by:

R.R./ S.K. Checked by:

Primary Scale



Prescriptive Path – Single Family

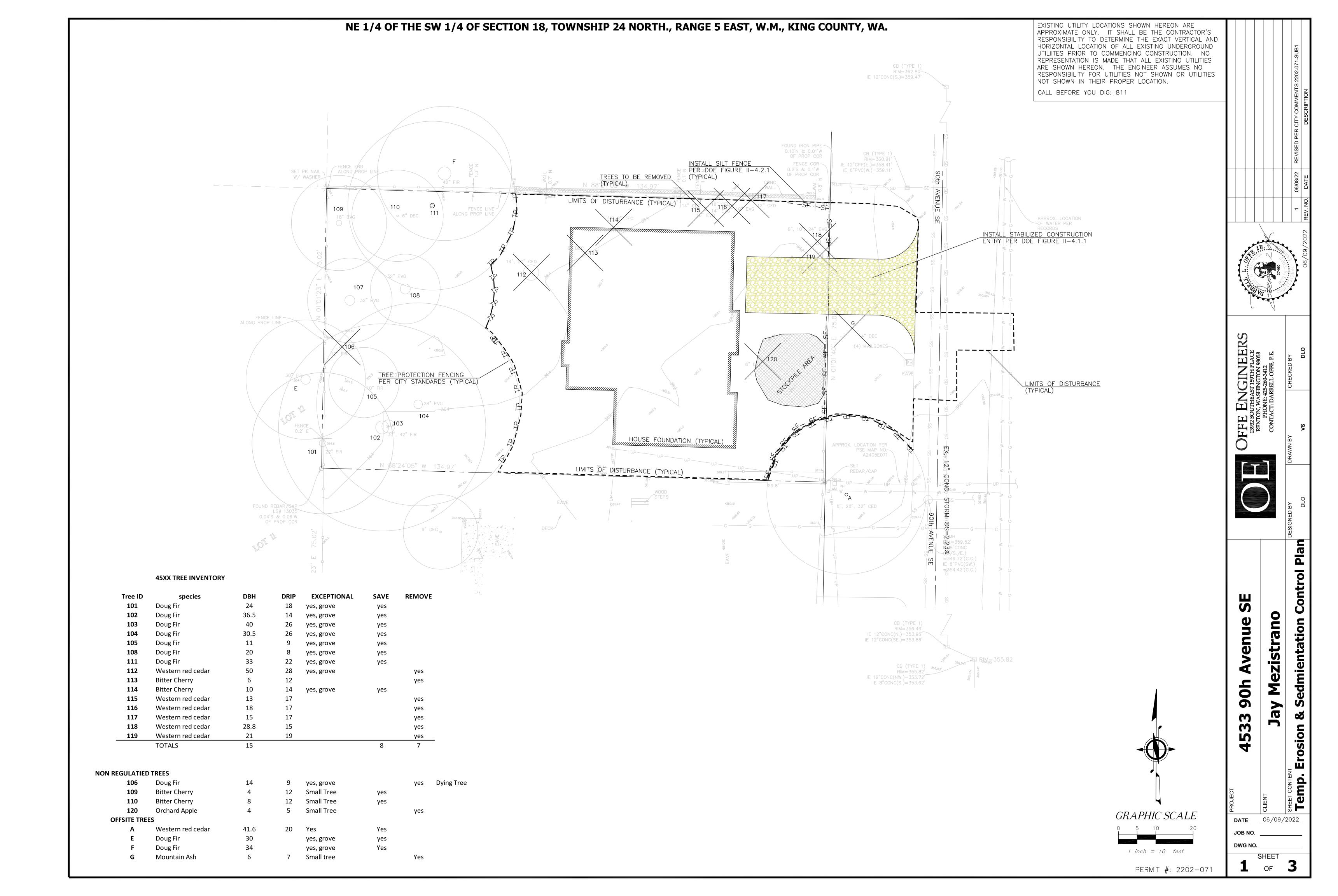
2018 Washington State Energy Code-R

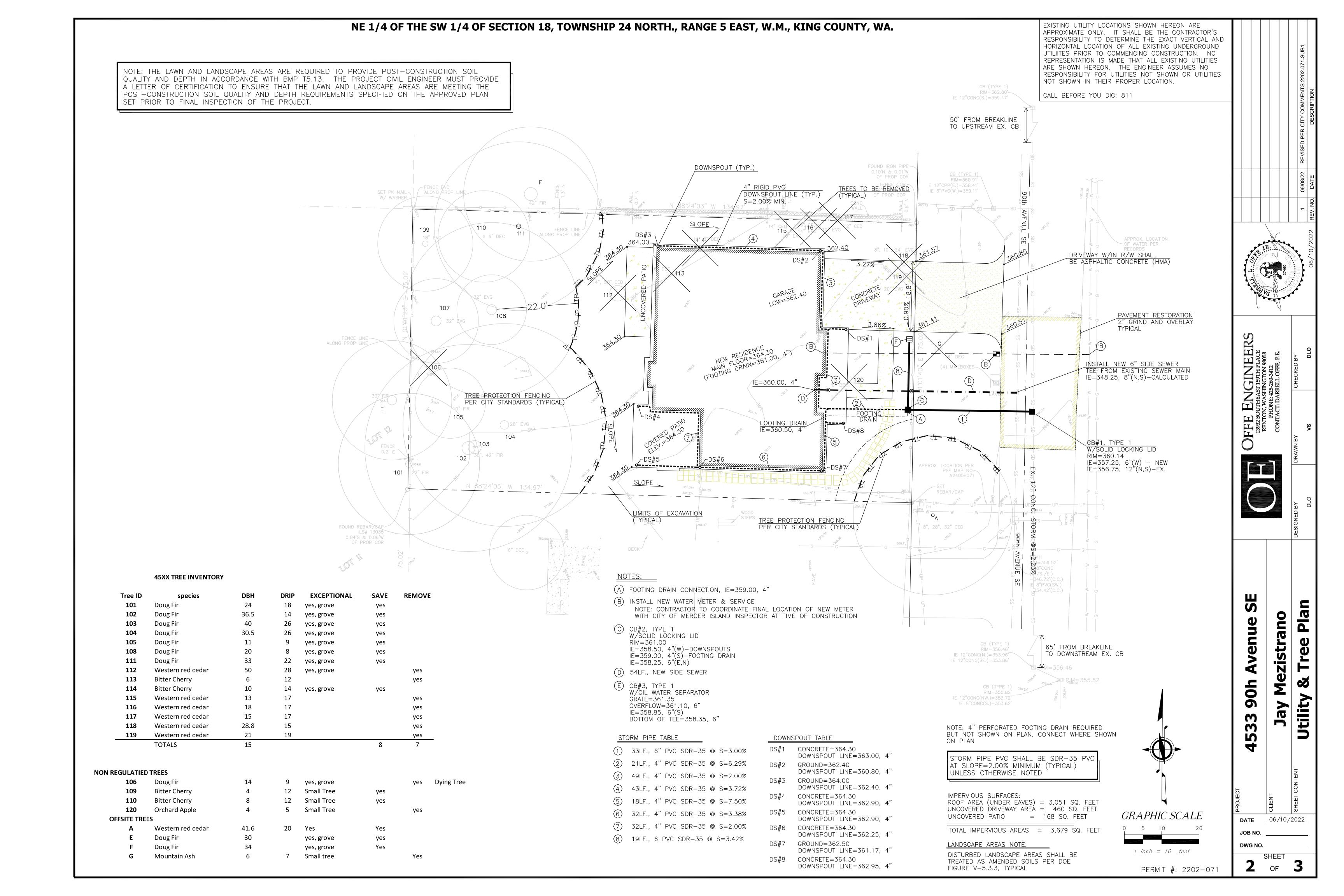
Prescriptive Path - Single Family

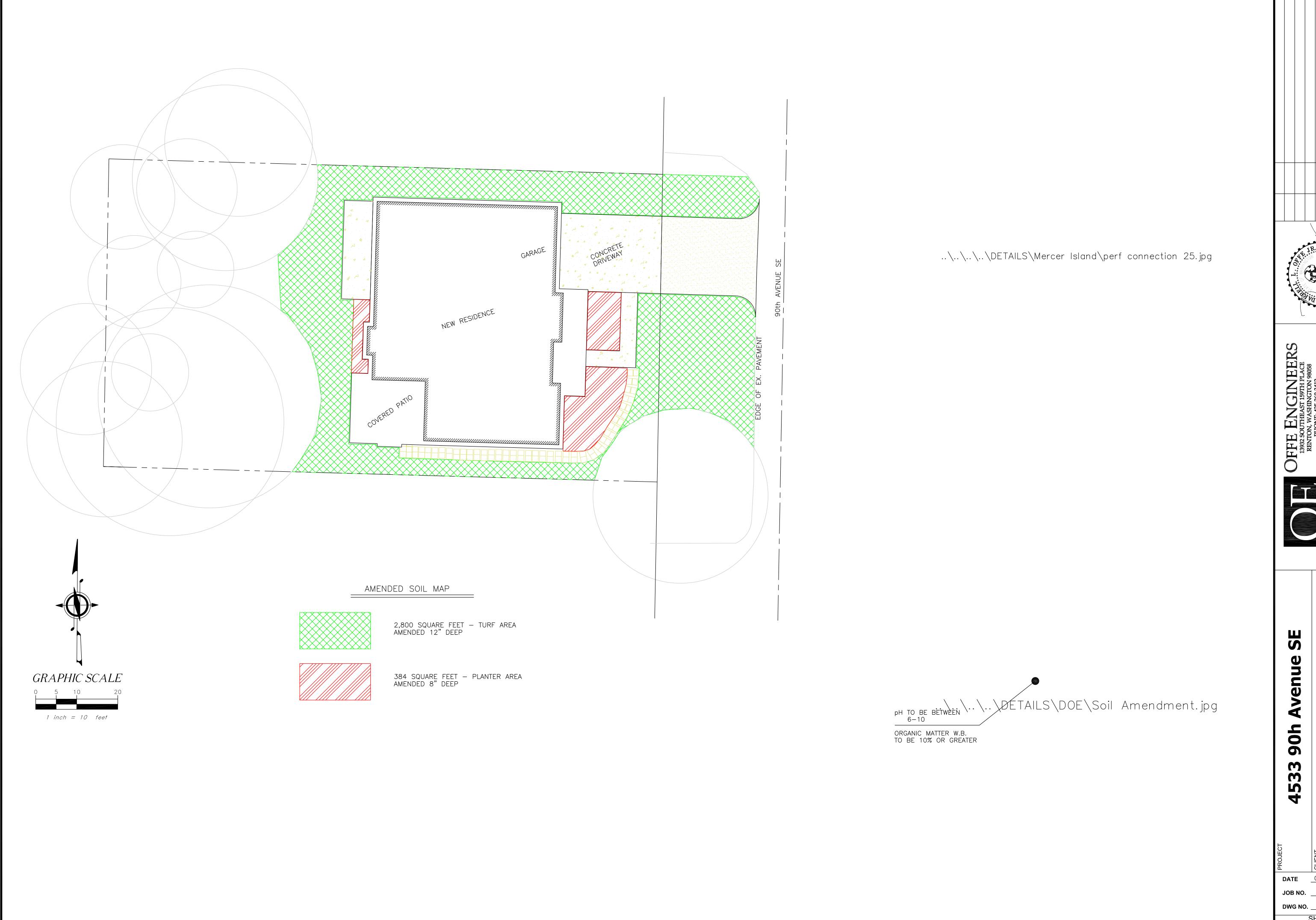
2018 Washington State Energy Code-R

Prescriptive Path - Single Family

2018 Washington State Energy Code-R







**Details** Map/Utility Mezistrano Soil Amended Amended **DATE** 06/09/2022 **3** OF

PERMIT #: 2202-071

FOR PARCEL# 0191100190

(PER PERSONAL REPRESENTATIVE'S DEED RECORDING#

LOT 6, BLOCK 3, ALLVIEW HEIGHTS ADDITION TO SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON; TOGETHER WITH THE EAST VACATED ALLEY ADJOINING ON THE WEST, VACATED ON FEBRUARY 29 1960, IN VOLUME 64 OF COMMISSIONER'S RECORDS, PAGE 609.

FOR PARCEL# 0191100195

(PER PERSONAL REPRESENTATIVE'S DEED RECORDING# 20200115000187)

LOT 7, BLOCK 3, ALLVIEW HEIGHTS ADDITION TO SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON; TOGETHER WITH THE EAST VACATED ALLEY ADJOINING ON THE WEST, VACATED ON FEBRUARY 29 1960, IN VOLUME 64 OF COMMISSIONER'S RECORDS, PAGE 609.

### **BASIS OF BEARINGS**

HELD N 01°01'40" E BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF 90TH AVE SE PER GPS OBSERVATIONS, NAD83 WASHINGTON STATE PLANE, NORTH ZONE.

### REFERENCES

R1. PLAT OF ALLVIEW HEIGHTS ADDITION, VOL. 16, PG. 20, RECORDS OF KING COUNTY, WASHINGTON.

### VERTICAL DATUM

NAVD88, PER GPS OBSERVATIONS.

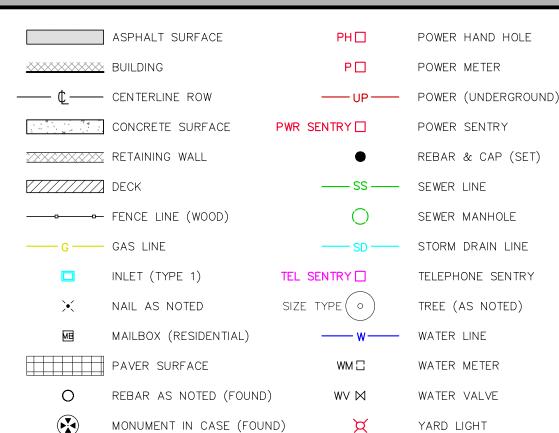
### SURVEYOR'S NOTES

- 1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
- 3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
- 4. SUBJECT PROPERTY TAX PARCEL NO. 019110-0190 & 019110-0195
- 5. SUBJECT TOTAL PROPERTY AREA PER THIS SURVEY IS 20,250 ±S.F. (0.46 ACRES) FOR PARCEL# 019110-0190 AREA= 10,125 ±S.F. (0.23 ACRES)
- 6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.

FOR PARCEL# 019110-0195 AREA= 10,125 ±S.F. (0.23 ACRES)

7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5—SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332—130—090.

### LEGEND



## TOPOGRAPHIC & BOUNDARY SURVEY



STEEP SLOPE/BUFFER DISCLAIMER:

THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR

INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR

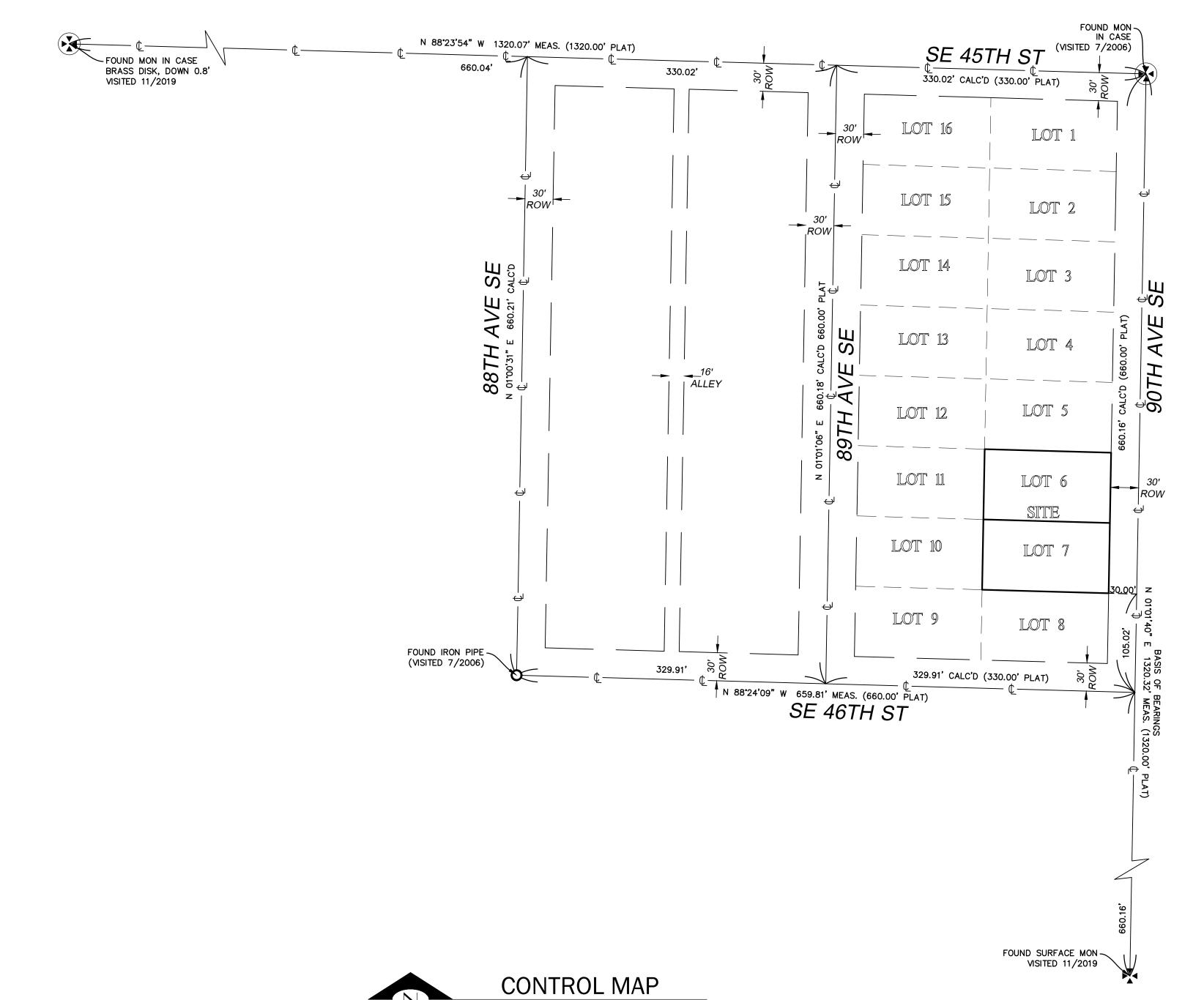
CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR

GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE

THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED

PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY,

BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



INDEXING INFORMATION

NE 1/4 SW 1/4

SECTION: 18

TOWNSHIP: 24N

RANGE: 05E, W.M.

COUNTY: KING

measure su

\* 0191100195

JAYMARC HOMES

GOODWAN GOO

2, Bellevue, WA 98004 support@terrane.net

1 Main Street, Suite 1

JOB NUMBER: 210905

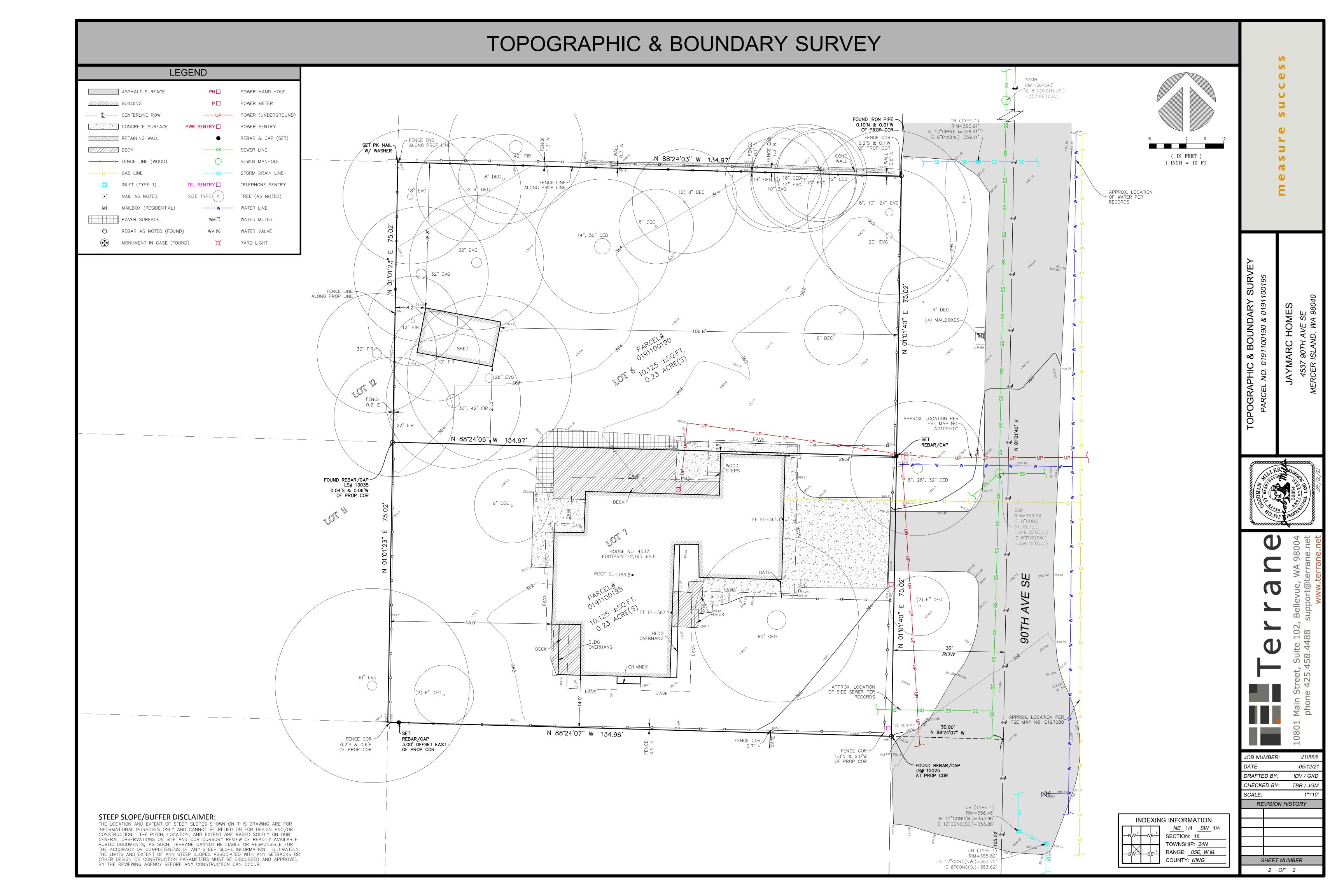
DATE: 05/12/21

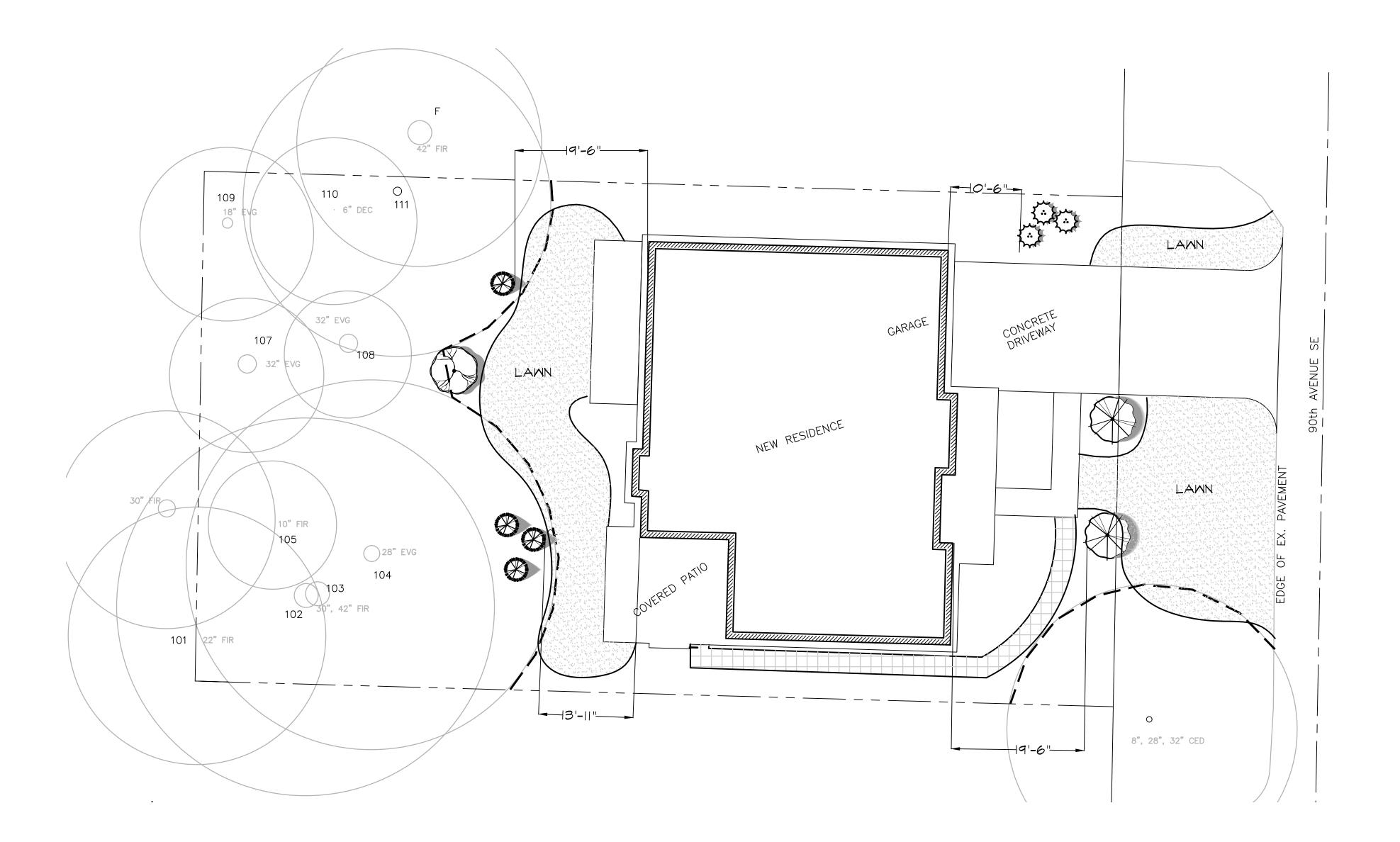
DRAFTED BY: IDV / GKD

CHECKED BY: TBR / JGM

REVISION HISTORY

SHEET NUMBER
1 OF 2





LANDSCAPE PLAN

SCALE: |" = |0' - 0"

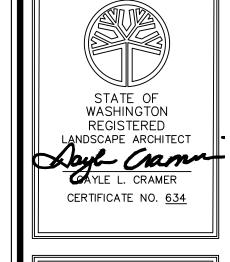


GRAPHIC SCALE

(IN FEET)
I inch = 10 feet

PLANT SCH	PLANT SCHEDULE						
REPLACEMENT TREES	BOTANICAL / COMMON NAME	SIZE					
₹ <u>``</u> }	Abies lasiocarpa / Alpine Fir	8`					
	Acer palmatum `Bloodgood` / Bloodgood Japanese Maple	2" Cal.					
	Acer palmatum `Sango Kaku` / Coral Bark Maple	2" Cal.					
	Tsuga mertensiana / Mountain Hemlock	8`					
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	SPACING				
	LAWN with 4" topsoil	sod					

TOTAL REPLACEMENT TREES REQUIRED 20 EA TOTAL REPLACEMENT TREES PROVIDED ON PLAN IO EA



SHEET

L-01 OF 1 SHEETS