

JayMarc Homes, LLC
 7525 SE 24th St, #487
 Mercer Island, WA 98040
 425 281 2706

Site Plan
 4533 90th Ave SE
 Mercer Island, WA

Drawn by
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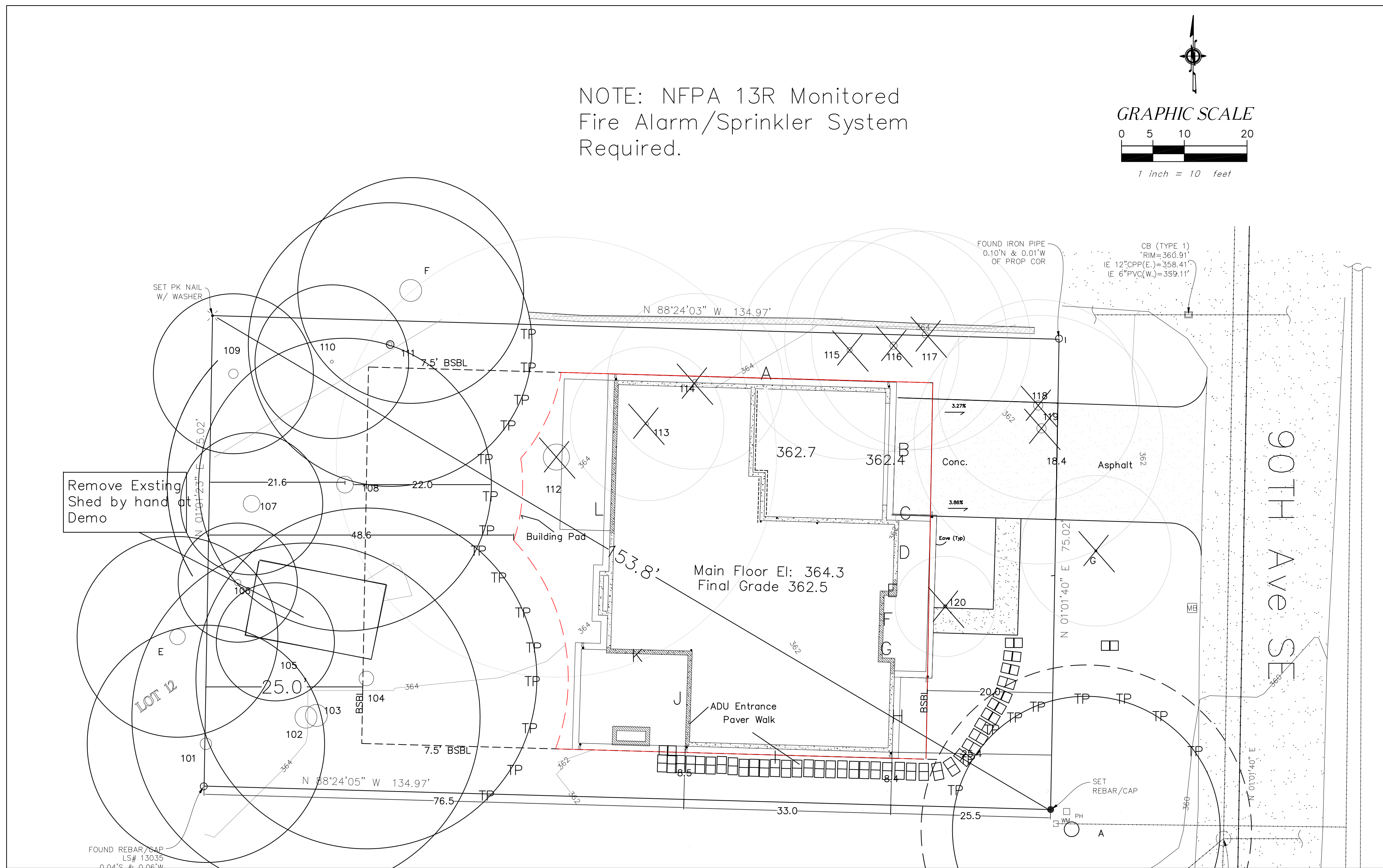
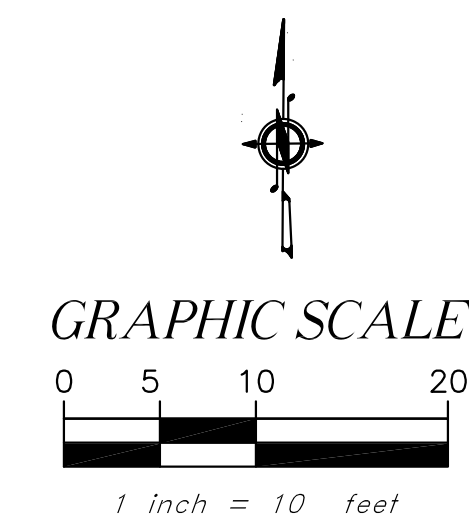
1-17-22

6-6-22

7-27-22

A2.1

NOTE: NFPA 13R Monitored
 Fire Alarm/Sprinkler System
 Required.



PROPERTY OWNER	
Jay Mezastrano	
STREET ADDRESS	
4531 90th Ave SE, Mercer Island, WA 98040	
PARCEL #	
191100190	
LEGAL DESCRIPTION	
Lot 6 Block 3, Allview Heights Addition to Seattle, Vol. 16, P 20	
ZONE: R-9.6	
SETBACKS:	
Front Yard - 20'	
Rear Yard - 25'	
Sides Yards 5/15'	
HEIGHT LIMIT; 30' above ABE to roof peak	
MAXIMUM LOT COVERAGE: 40%	
MAXIMUM HARDSCAPE: 9%	
MAXIMUM FAR: 40% + ADU	
PARKING SPACES PROVIDED: 2 GARAGE 2 DRIVEWAY	
NO CRITICAL AREAS IMPACTED	
NO ONSITE EASEMENTS	

4531 90TH AVE SE TREE INVENTORY

Tree ID	species	DBH	DOBP	EXCEPTIONAL	SAVE	REMOVE
102	Doug Fir	24	15	yes, grove	yes	
103	Doug Fir	36.5	14	yes, grove	yes	
104	Doug Fir	40	26	yes, grove	yes	
105	Doug Fir	30.5	26	yes, grove	yes	
106	Doug Fir	11	9	yes, grove	yes	
107	Doug Fir	14	9	yes, grove	yes	Yes Dying
108	Doug Fir	20	8	yes, grove	yes	
109	Bitter Cherry	20	11	yes, grove	yes	
112	Western red cedar	50	28	yes, grove	yes	
114	Bitter Cherry	10	14		yes	Yes Dying
115	Western red cedar	13	17		yes	
116	Western red cedar	18	17		yes	
117	Western red cedar	15	17		yes	
118	Western red cedar	28.8	15		yes	
119	Western red cedar	21	19		yes	
TOTALS		14			8	6
		Plus	2	dying		+ 2 dying

NON REGULATED TREES

ID	species	DBH	DOBP	Small Tree	yes	no
110	Bitter Cherry	4	12	Small Tree	yes	
120	Orchard Apple	8	12	Small Tree	yes	
111	Bitter Cherry	7	11	Small Tree	yes	

RIGHT OF WAY TREES

ID	species	DBH	DOBP	Small tree	yes	no
A	Western red cedar	41.6	20	Yes		Yes
G	Mountain Ash	6	7	Small tree		Yes

Lot Slope Calculations	
High Point	367.1 ft
Low Point	360.1 ft
Elevation Difference	7 ft
Distance	153 ft
Slope%	4.60%

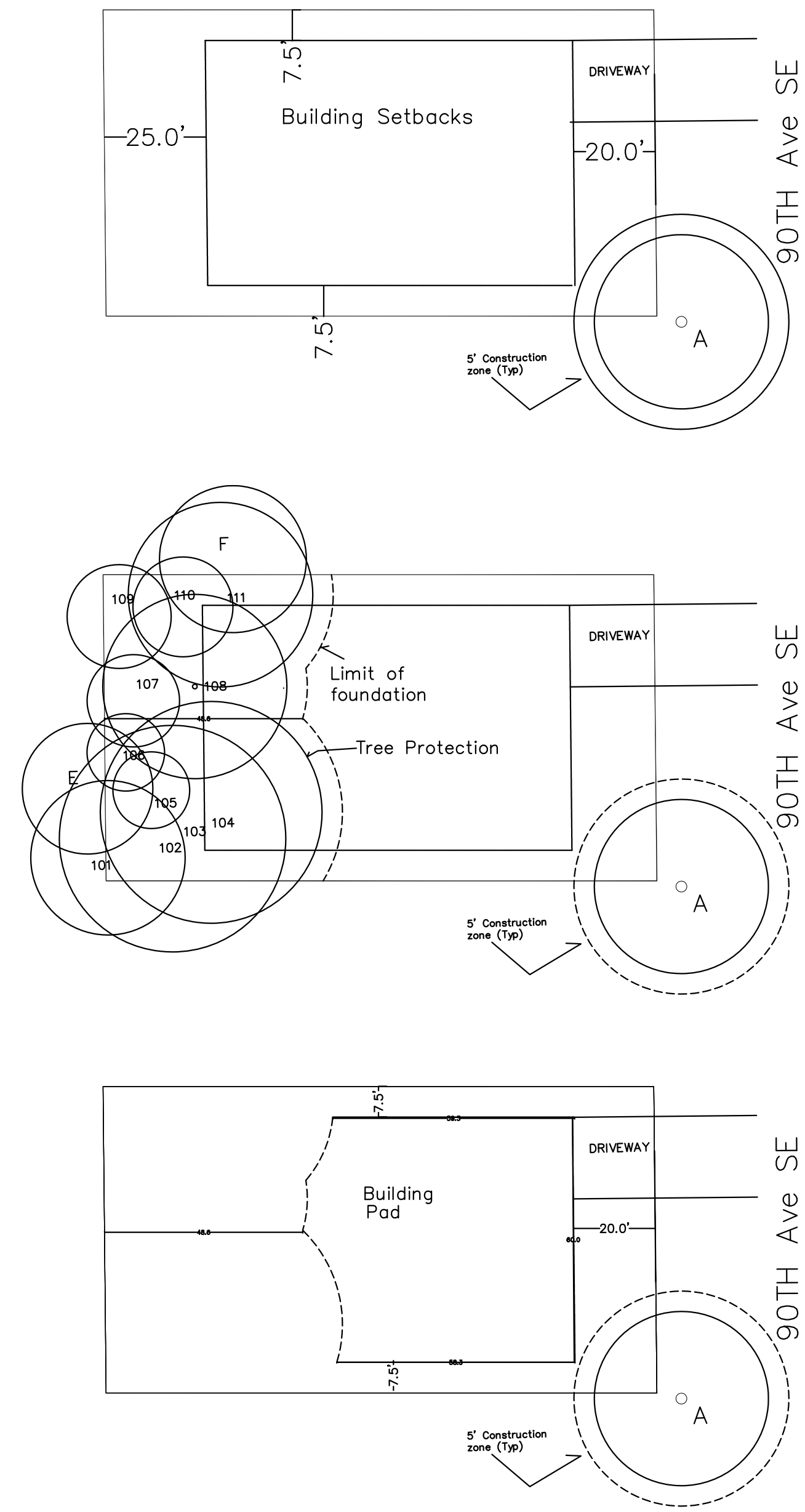
LOT COVERAGE	
Lot Area	10,125
Allowed	40%
Allowed sf	4,050
New	
Main Structure Roof Area	2,796
Driveway	450
Cov'd Patio or Deck -	226
New sf	3,472
Existing	
Existing	324
Existing Removed	(324)
Net Existing	-
Total	
Total New and Existing	3,472
%	34.3%

Gross Floor Area	
Main Floor Living	1,548 sf
Garage	438 sf
ADU	433 sf
Second Floor	2,139 sf
Less Stairs	(68) sf
Total	4,490 sf
Max Allowed: 40% + ADU 433	4,490 sf
Allowed %	44.3%
Proposed %	44.3%

PARKING	
Covered	2 ea
Driveway	2 ea.

Hardscape	
Lot Size	10,125
EXISTING	
Uncovered Patio	0
Walkways	0
Stairs	0
Rockery/Retaining Walls	0
Total Existing	0
Existing Removed	0
Net Existing Retained	0
NEW	
Uncovered Patio	168
Walk	113
Total New	281
Total New and Existing	281
Total Hardscape	2.8%

SE 30th Height Table				
Wall Segment	Midpoint Elevation	Length	Product	
A	364	44	16,016.0	
B	362.5	21	7,612.5	
C	362	2	724.0	
D	361.8	12	4,341.6	
E	360.7	2	721.4	
F	360.8	10	3,608.0	
G	360.8	2	721.6	
H	360.7	15	5,410.5	
I	361.1	33	11,916.3	
J	362	14.5	5,249.0	
K	363	13	4,719.0	
L	364	43.5	15,834.0	
Sub Totals	212		76,873.9	
ABE			362.6	
Max Height			30.0	
Max Elevation			392.6	



BUILDING PAD ILLUSTRATION

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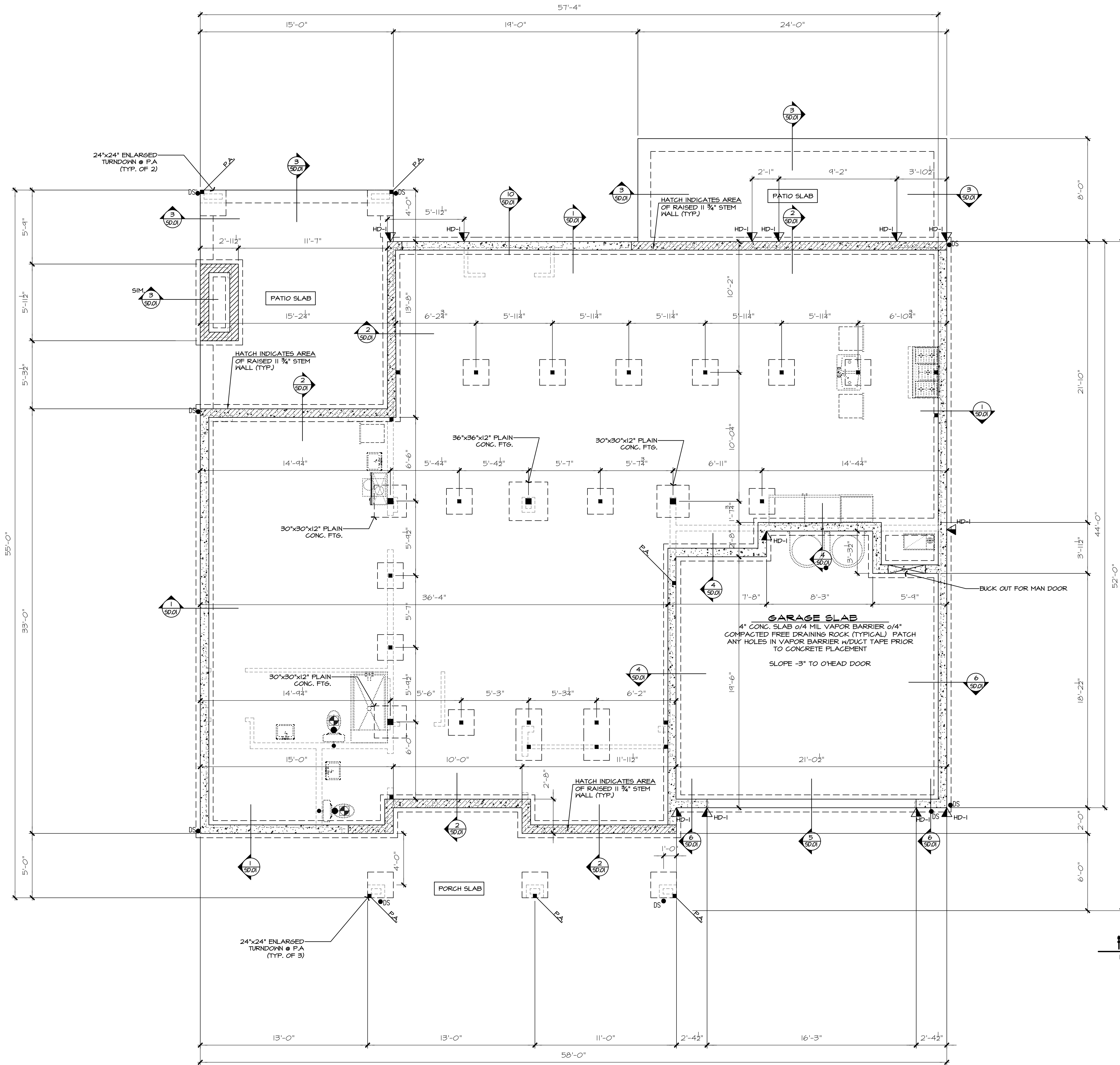
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7-27-22

A2.2



FOUNDATION PLAN
1/4" = 1'-0"

HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-1	SIMPSON STHD14 (R.J) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

LEGEND	
•	INTERIOR BEARING WALL
•	EXTERIOR WALL ABOVE
JL	METAL HANGER
*	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
▶	INDICATES HOLD-DOWN.

4x10 DROPPED CONT. BEAM (TYP. U.N.O.)

TYP. CRAWLSPACE POSTS:
4x4 P.T. POST W/2x4 CLEATS EA. SIDE + (2) A35 CLIPS ON EA. SIDE @ BASE OF POST W/O.131"x1-1/2" LONG REDHEAD NAILS (4'-0" MAX. POST HEIGHT) ON ASPHALT SHINGLE ON 24"x24"x8" PLAIN CONC. FTG. (TYP. U.N.O.)

REFER TO S-O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

JAYMARC HOMES
7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue	Issue Date	By	Description
△	01.20.22	S.K.	REVISIONS
△	06.03.22		CITY PLAN REVIEW COMMENTS

4533 90th Ave SE
Mercer Island, WA.
Job Number:

plan name: -
marketing name: XXXXXX
plan number:
mark sys. number: -

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Issue Description	Issue Date	By
5.K. REVISIONS	01.20.22	
CITY PLAN REVIEW COMMENTS	06.03.22	

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HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-1	SIMPSON STHD14 (R.J) HOLD-DOWN
HD-5	SIMPSON CSI6 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (12" END LENGTH)
HD-7	SIMPSON MSTC66 STRAP TIE (24" END LENGTH)

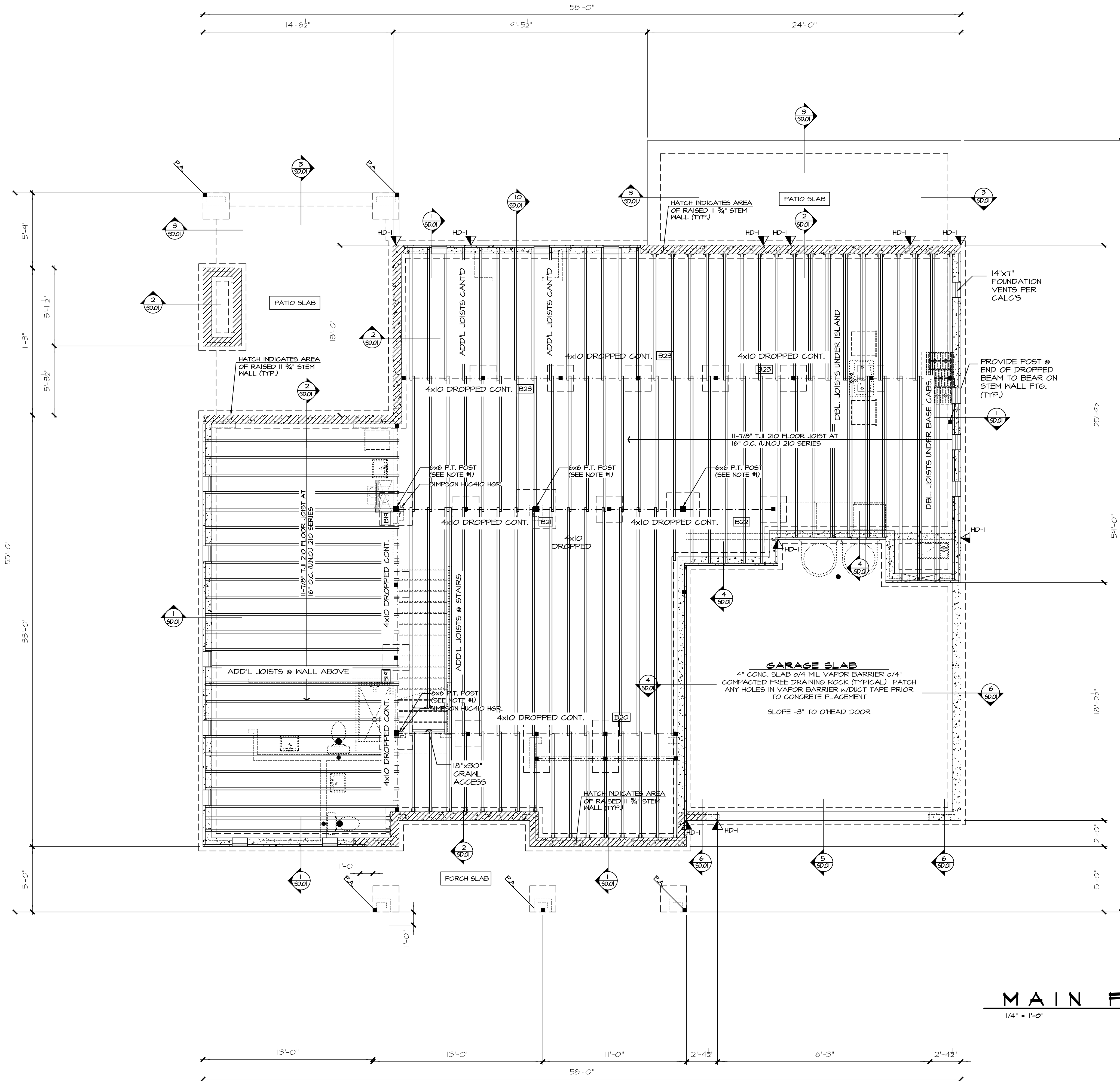
LEGEND	
	J.L. METAL HANGER
	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	INDICATES HOLD-DOWN.

REFER TO S-O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

4x10 DROPPED CONT. BEAM (TYP. U.N.O.)

NOTE #: LOCATE POST DIRECTLY BELOW POST ABOVE. PROVIDE FULL DEPTH 2x BLOCKING IN FLR SYSTEM TO BEAM BELOW. PROVIDE 2x SHIM BESIDE DROPPED BEAM FOR FLUSH GLEAT INSTALLATION.

FOUNDATION VENTILATION			
Crawspace Area:	2104 s.f.		
Ventilation Required:	2104 s.f. / 300 =	1009.9 s.i. Req'd	
Use:	14" x 7" Foundation Vents		
Vent Area =	98 s.i. - 25% reduct., 1/4" mesh =	73.5 s.i.	
Vents Required =	1009.92 s.i. / Vent Area =	13.74 s.i.	
Provide:	14 14" x 7" Vents, Area =	1029 s.i.	
Ventilation Provided =	1029.00 s.i. is Greater than	1009.9 s.i. Req'd	
Use:	14 14" x 7" Foundation Vents		
* FOUNDATION VENTS SHALL NOT INTERFERE WITH DIRECT LOAD PATH OF COLUMNS			
* INSTALL 6 MIL BLACK POLYETHYLENE VAPOR RETARDER GROUND COVER			
* LOCATE ONE VENT WITHIN 3 FEET OF EACH CORNER OF THE BUILDING, EXCEPT ONE SIDE OF THE BUILDING SHALL BE PERMITTED TO HAVE NO VENTS.			



MAIN FLOOR FRAMING PLAN
1/4" = 1'-0"

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Mercer Island, WA
98040
425.266.9100

MAIN FLOOR PLAN NOTES

PLAN SPECIFIC 2018 INSEC. SECTION R06
R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS (MANDATORY). THIS RESIDENTIAL DWELLING SHALL COMPLY W/SUFFICIENT OPTIONS FROM TABLE R406.2 TO ACHIEVE THE FOLLOWING MIN. NUMBER OF CREDITS: 6 FOR A 1501sf to 4,999sf HOME.
CREDITS PROVIDED IN THIS HOME AS FOLLOWS:
EFFICIENT BUILDING ENVELOPE OPT. 1.3: 0.5 CREDITS
PRESCRIPTIVE COMPLIANCE IS BASED ON TABLE R402.1.1 WITH FOLLOWING MODIFICATIONS:
VERTICAL PENETRATION U = 0.28 WINDOWS
FLOORS TO BE R-38 and SLAB ON GRADE TO BE R-10 PERIMETER and UNDER ENTIRE SLAB BELOW GRADE.

HIGH EFFICIENCY HVAC EQUIPMENT OPT. 3.5a: 1.5 CREDITS
AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HEFF OF 11.0. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT EFFICIENCY. EXTERIOR LOCATED EQUIPMENT SHOULD ALSO BE REPRESENTED ON SITE PLAN.

HIGH EFFICIENCY HVAC DISTRIBUTION OPT. 4.2: 1.0 CREDITS
HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) SHALL COMPLY WITH THE REQUIREMENTS OF SECT R409.3.1. LOCATING SYSTEM COMPONENTS IN CONDITIONED CRANL SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION.

EFFICIENT WATER HEATING 5.5: 2.0 CREDITS
WATER HEATING SYSTEMS SHALL INCLUDE ONE OF THE FOLLOWING: ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE WATER HEATER EQUIPMENT TYPE AND THE MINIMUM EQUIPMENT EFFICIENCY.

WHOLE HOUSE VENTILATION
PROVIDE WHOLE HOUSE VENTILATION per 2018 IRC, M1505.4.3(1) and IMC R403.8. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M1505.4.3(1) OR EQUATION 15.

SYMBOL	LOCATION	MIN. FAN REQUIREMENTS (ALL FANS VENT TO OUTSIDE)
	BATH 4	Min. 50cfm, INTERMITTENT at .025kg per TABLE M1507.4
	KITCHEN	Min. 100cfm, INTERMITTENT at .025kg per TBL. M1507.4
	LAUNDRY	MIN. 360cfm, INTERMITTENT at .025kg TO FUNCTION AS WHOLE HOUSE FAN (WHF)

MECHANICAL CONTRACTOR TO SIZE WHF, FAN AND SET OPERATING TIMER per TABLE M1507.3(1) FOR A 4,501-5,000sf. DWELLING w/ 5 OR MORE BEDRMS. TO OPERATE INTERMITTENTLY and CONTINUOUSLY per TABLE M1507.3(2)
* PROVIDE CONTROLS FOR WHF per M1507.3.2 AFFIX LABEL TO CONTROLS THAT READS "WHOLE HOUSE VENTILATION - SEE OPERATING INSTRUCTIONS"

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△	01.20.22	S.K. REVISIONS
△	06.03.22	CITY PLAN REVIEW COMMENTS

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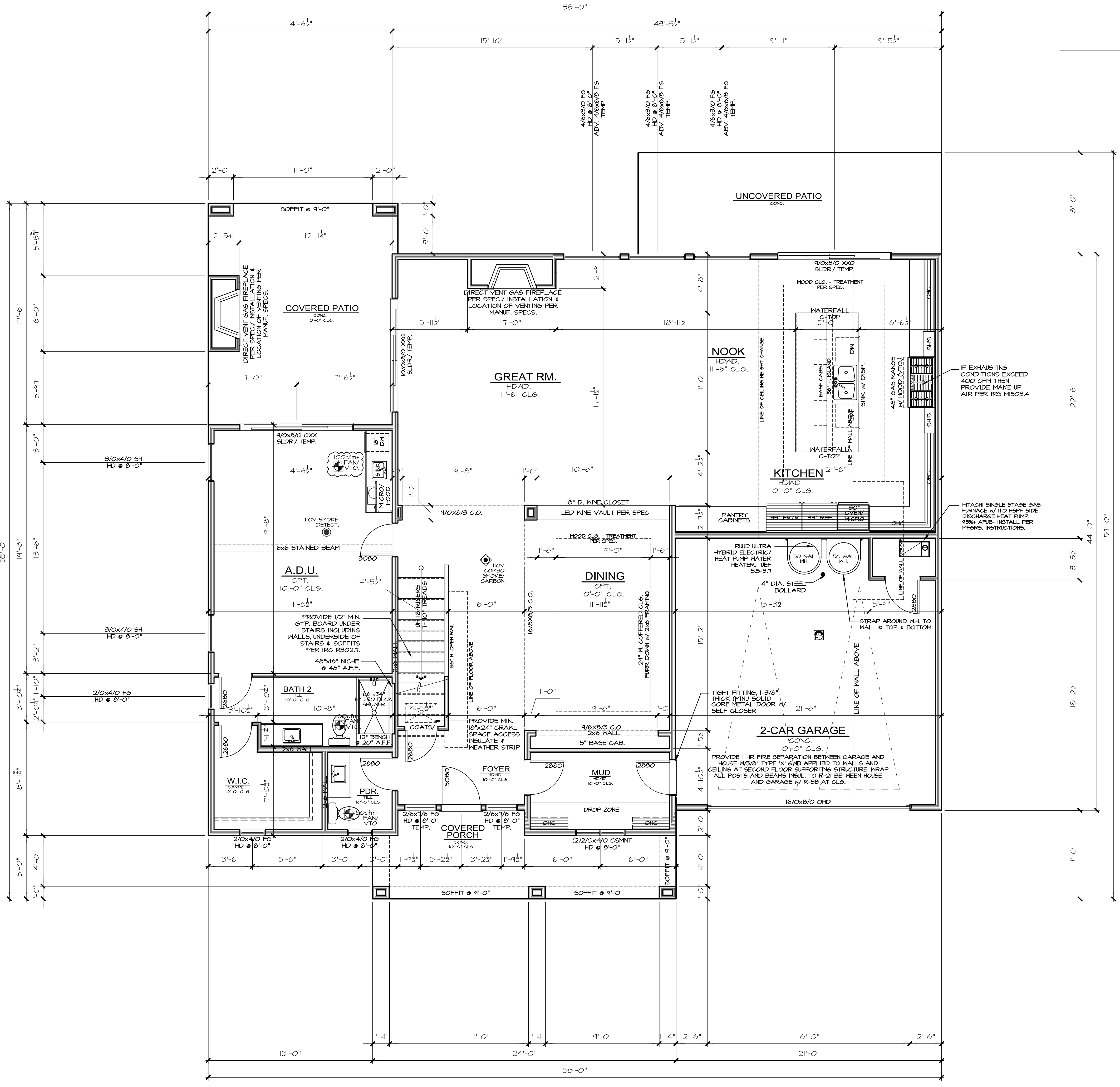
SQUARE FOOTAGE SUMMARY

MAIN FLOOR AREA	1,545 S.F.
A.D.U. MAIN FLR. AREA	433 S.F.
GARAGE	436 S.F.
UPPER FLOOR AREA	2,068 S.F.
TOTAL AREA	4,482 S.F.
COVID PATIO	259 S.F.
COVID PORCH	40 S.F.
TOTAL AREA UNDER ROOF	4,781 S.F.

OVERALL WIDTH 44'-1 1/2"
OVERALL DEPTH 44'-1 1/2"

MAIN FLOOR PLAN

1/4" = 1'-0"



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HOLD-DOWN SCHEDULE	
SYMBOL	SPECIFICATION
HD-1	SIMPSON 5THD14 (R.L.) HOLD-DOWN
HD-5	SIMPSON CS16 STRAP TIE (14" END LENGTH)
HD-6	SIMPSON MSTC40 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)
HD-7	SIMPSON MSTC66 STRAP TIE (CENTER STRAP ON FLOOR SYSTEM U.N.O.)

LEGEND	
	INTERIOR BEARING WALL
	BEAM / HEADER
	18" FLOOR TRUSS @ 16" O.C. (U.N.O.)
	INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL w/ 3" O.C. EDGE NAILING
	JL METAL HANGER
	INDICATES POST ABOVE. PROVIDE SOLID BLOCKING UNDER POST OR JAMB ABOVE.
	INDICATES HOLD-DOWN.

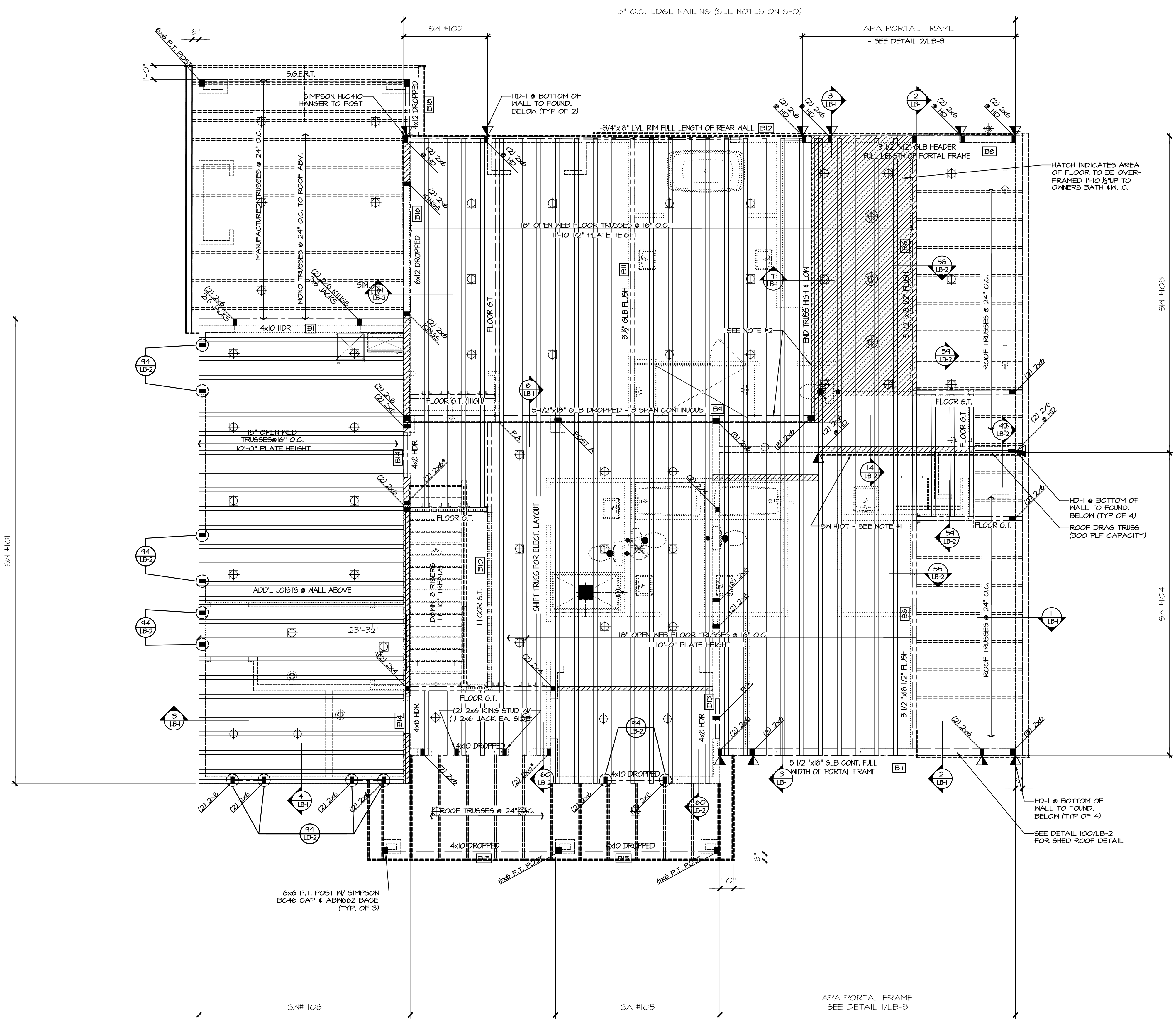
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4x10 HDR @ ALL EXT. [B1]
WINDOWS/DOORS (TYP. U.N.O.)

NOTE #1:
PROVIDE 1/8" OSB/PLYWOOD SHTG. + FASTEN PER TYP. WALL SHTG. SPECS. (SEE NOTES)

NOTE #2:
STEP FLOOR SYSTEM AS SHOWN AND PROVIDE (3) 2x PLATES BETWEEN HIGH AND LOW FLOOR SYSTEM (TYP.)

POST A INDICATES A 5 1/4"x5 1/4" LVL POST w/ A SIMPSON BC6 CAP AND BC60 BASE



UPPER FLOOR & LOWER ROOF FRAMING PLAN

1/4" = 1'-0"

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UPPER FLOOR PLAN NOTES:

PLAN SPECIFIC 2018 INSEC. SECTION R06.
R406.2 ADDITIONAL ENERGY EFFICIENCY REQUIREMENTS (MANDATORY). THIS RESIDENTIAL DWELLINGS SHALL COMPLY W/SUFFICIENT OPTIONS FROM TABLE R406.2 TO ACHIEVE THE FOLLOWING MIN. NUMBER OF CREDITS:
6 FOR A 1501sf to 4,999sf HOME.
CREDITS PROVIDED IN THIS HOME AS FOLLOWS:
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FLOORS TO BE R-38 and SLAB ON GRADE TO BE R-10 PERIMETER and UNDER ENTIRE SLAB BELOW GRADE.

HIGH EFFICIENCY HVAC EQUIPMENT OPT. 3.5a: 1.5 CREDITS
AIR-SOURCE, CENTRALLY DUCTED HEAT PUMP WITH MINIMUM HSPF OF 11.0. TO QUALIFY TO CLAIM THIS CREDIT, THE BUILDING PERMIT DRAWINGS SHALL SPECIFY THE OPTION BEING SELECTED AND SHALL SPECIFY THE HEATING EQUIPMENT EFFICIENCY. EXTERIOR LOCATED EQUIPMENT SHOULD ALSO BE REPRESENTED ON SITE PLAN.

HIGH EFFICIENCY HVAC DISTRIBUTION OPT. 4.2: 1.0 CREDITS
HVAC EQUIPMENT AND ASSOCIATED DUCT SYSTEM(S) SHALL COMPLY WITH THE REQUIREMENTS OF SECT R403.3.1. LOCATING SYSTEM COMPONENTS IN CONDITIONED GRAVE SPACES IS NOT PERMITTED UNDER THIS OPTION. ELECTRIC RESISTANCE HEAT AND DUCTLESS HEAT PUMPS ARE NOT PERMITTED UNDER THIS OPTION. DIRECT COMBUSTION HEATING EQUIPMENT WITH AFUE LESS THAN 80% IS NOT PERMITTED UNDER THIS OPTION.

EFFICIENT WATER HEATING 5.5: 2.0 CREDITS
WATER HEATING SYSTEMS SHALL INCLUDE ONE OF THE FOLLOWING:
ELECTRIC HEAT PUMP WATER HEATER MEETING THE STANDARDS FOR TIER III OF NEEA'S ADVANCED WATER HEATING SPECIFICATION.
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WHOLE HOUSE VENTILATION
PROVIDE WHOLE HOUSE VENTILATION per 2018 IRC, M505.4.3(1) and IMC R403.8. THE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM SHALL PROVIDE OUTDOOR AIR AT A CONTINUOUS RATE AS DETERMINED IN ACCORDANCE WITH TABLE M505.4.3(1) OR EQUATION 15.

SYMBOL	LOCATION	MIN. FAN REQUIREMENTS (ALL FANS VENT TO OUTSIDE)
	BATH & POWDER	Min. 50cfm, INTERMITTENT at .025hg per TABLE M507.4
	KITCHEN	Min. 100cfm, INTERMITTENT at .025hg per TBL. M507.4
	RANGE HOOD	per DOWN DRAFT EXHAUST FAN RATED at min. 100cfm, at 0.01hg MAY BE USED FOR EXHAUST FAN REQMT. EXHAUST HOODS IN EXCESS OF 400cfm, SHALL BE INTERLOCKED AND PROVIDE MAKE UP AIR per M505.4.
	LAUNDRY ROOM	Min. 360cfm, INTERMITTENT at .025hg TO FUNCTION AS WHOLE HOUSE FAN (WHF.)
	MECHANICAL CONTRACTOR TO SIZE WHF, FAN AND SET OPERATING TIMER per TABLE M507.3(1) FOR 4,450-5,000sf DWELLINGS w/ 5 OR MORE BEDRMS. TO OPERATE INTERMITTENTLY AND CONTINUOUSLY per TABLE M507.3(2)	
	PROVIDE CONTROLS FOR WHF, per M507.3.2 AFFIX LABEL TO CONTROLS THAT READS "WHOLE HOUSE VENTILATION - SEE OPERATING INSTRUCTIONS"	

UPPER FLOOR PLAN

1/4" = 1'-0"

SQUARE FOOTAGE SUMMARY

MAIN FLOOR AREA	1,545 S.F.
A.D.J MAIN FLR. AREA	433 S.F.
GARAGE	436 S.F.
UPPER FLOOR AREA	2,088 S.F.
TOTAL AREA	4,482 S.F.
COVID PATIO	259 S.F.
COVID PORCH	40 S.F.
TOTAL AREA UNDER ROOF	4,781 S.F.
OVERALL WIDTH	71'-11 1/2"
OVERALL DEPTH	44'-1 1/2"





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△	01.20.22	S.K.	REVISIONS
△	06.03.22		CITY PLAN REVIEW COMMENTS

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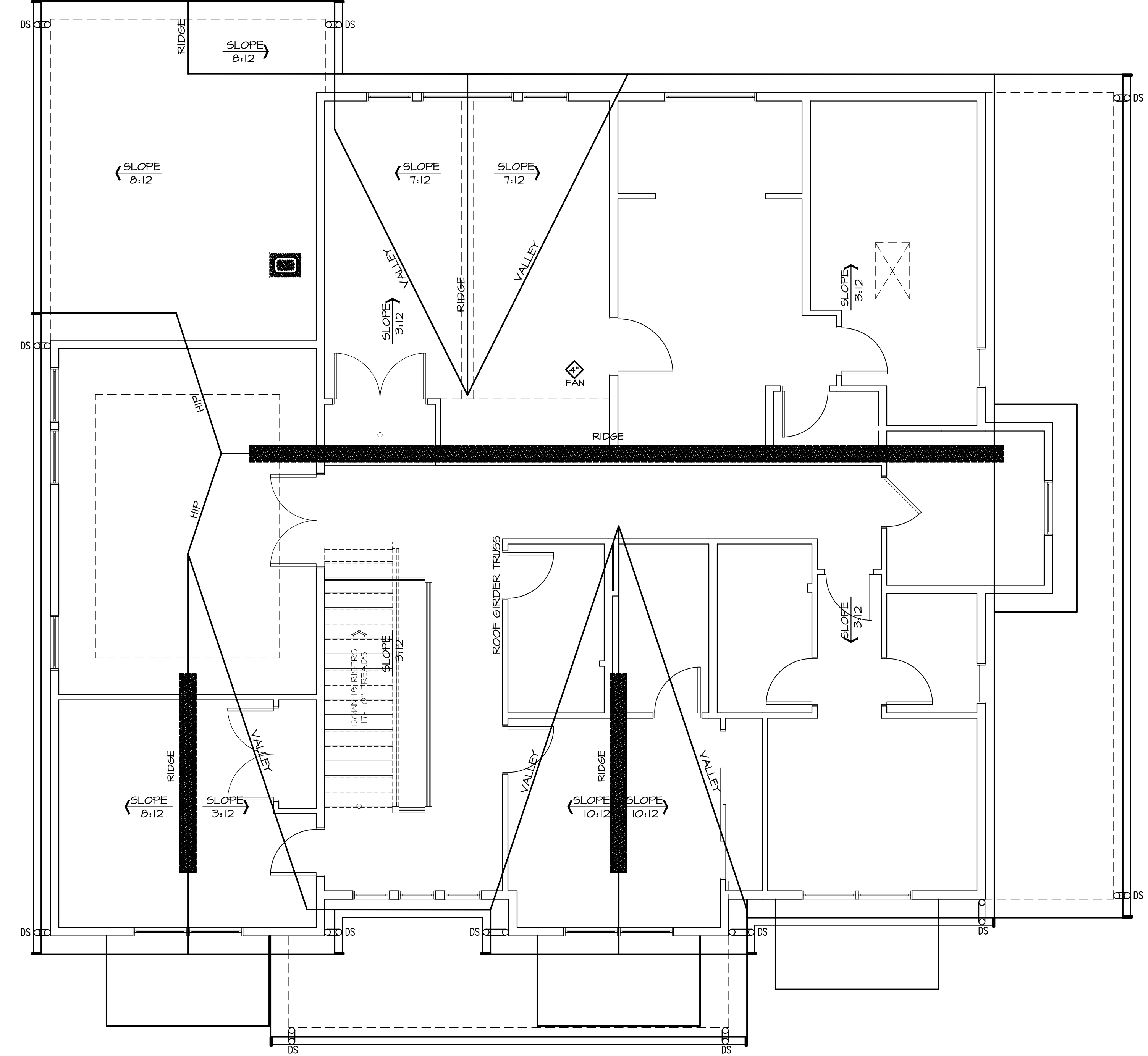
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ROOF PLAN
1/4" = 1'-0"

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△	06.03.22	CITY PLAN REVIEW COMMENTS

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LEGEND

- ▨ INTERIOR BEARING WALL
- == BEAM / HEADER
- ROOF TRUSS @ 24" O.C. (U.N.O.)
- GIRDER TRUSS
- ▬ INTERIOR SHEAR WALL PANEL OR EXTERIOR SHEAR WALL W/ 3" O.C. EDGE NAILING
- JL METAL HANGER
- ⊗ INDICATES OVER FRAMED TRUSS AREA

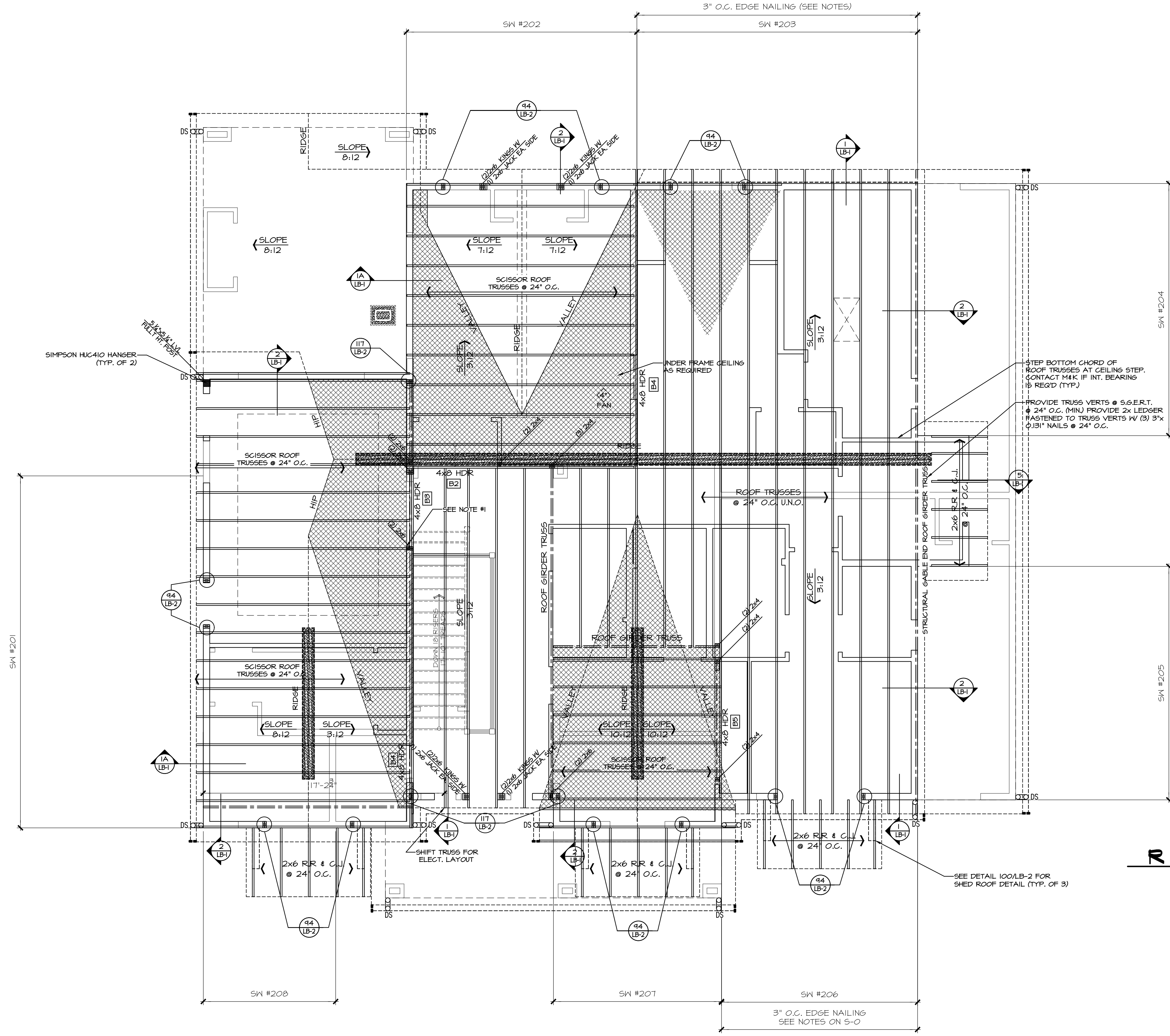
REFER TO S-O FOR TYPICAL STRUCTURAL NOTES & SCHEDULES

4x10 HDR @ ALL EXT. [B1] WINDOWS/DOORS (TYP. U.N.O.)

PROVIDE CONT. EXT. SHEATHING BEHIND LOW TRUSSES DOWN TO SECOND FLOOR SOLE PLATE (TYP. @ LOW ROOF)

PROVIDE 2x SLOPING EXT. WALLS BUILT TIGHT TO UNDERSIDE OF ROOF FRAMING @ VAULTED CEILING (TYP.)

NOTE #1: FRAME INT. BRG. WALL TO TYP. CEILING HEIGHT. SCISSOR TRUSSES @ BONUS ROOM / BEDROOM 4 TO HANG INTO LEDGER. PROVIDE 2x LEDGER FASTENED TO EACH STUD W (3) 3"x0.131" NAILS



ROOF FRAMING PLAN

1/4" = 1'-0"

Sheet Title/Description



FRONT ELEVATION
 1/4" = 1'-0"



LEFT ELEVATION
 1/4" = 1'-0"

Issue	Issue Date	By	Description
△	01.20.22	S.K.	REVISIONS
△	06.03.22		CITY PLAN REVIEW COMMENTS

4533 90th Ave SE
 Mercer Island, WA.
 Job Number:

plan name: -
 marketing name: XXXXXX
 plan number: -
 mark sys. number: -

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC.) or those of the local municipality then the current standards and requirements of each respectively shall govern.

The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC.

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01.21.22
 Submittal Date

Sheet Title/Description
 JAYMARC HOMES
 Design Firm

R.R.
 Drawn by:

R.R./ S.K.
 Checked by:

Primary Scale

A10
 of .

Sheet Title/Description

Issue	Issue Date	By	Description
△	01.20.22	S.K.	REVISIONS
△	06.03.22		CITY PLAN REVIEW COMMENTS

4533 90th Ave SE
 Mercer Island, WA.
 Job Number:

plan name: -
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 Design Firm

R.R.
 Drawn by:

R.R./S.K.
 Checked by:

Primary Scale

A11
 of .

Sheet Title/Description



REAR ELEVATION
 1/4" = 1'-0"



RIGHT ELEVATION
 1/4" = 1'-0"

NOTES:



7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue	Issue Date	By	Description
△	01.20.22	S.K.	REVISIONS
△	06.03.22		CITY PLAN REVIEW COMMENTS

4533 90th Ave SE
Mercer Island, WA.
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01.21.22
Submittal Date

Sheet Title/Description

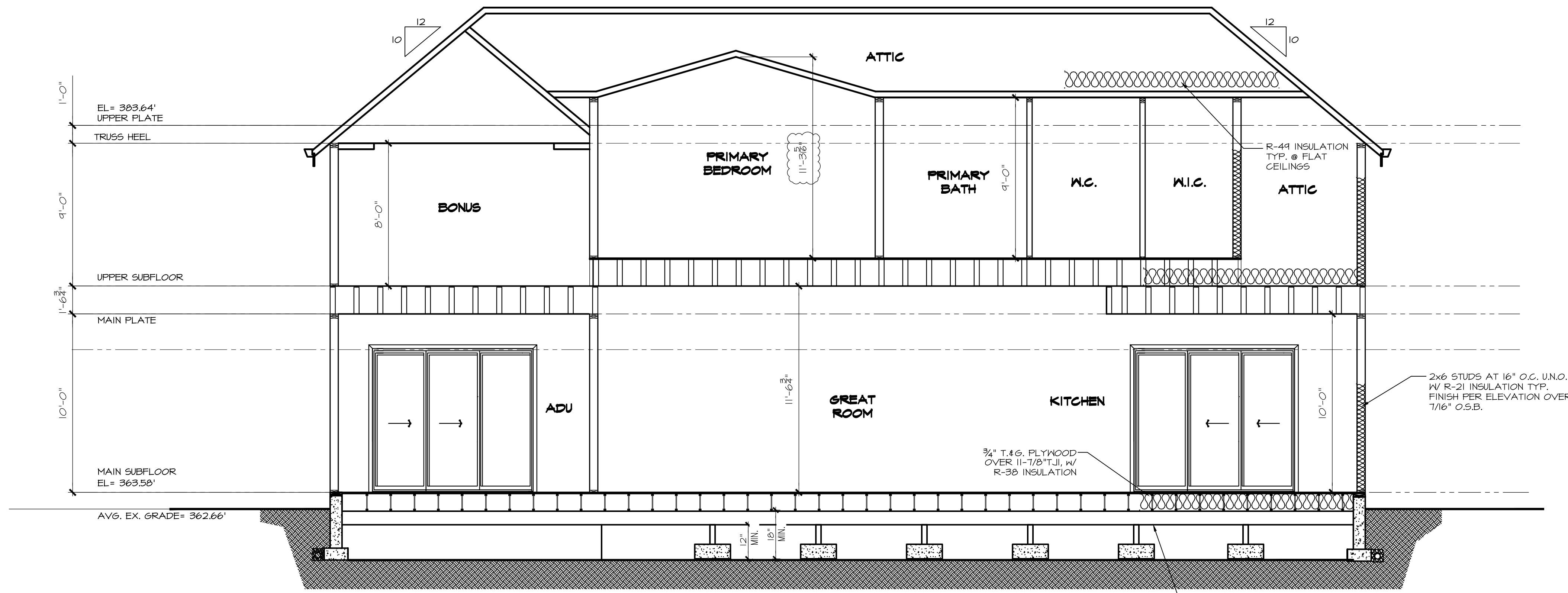
JAYMARC HOMES
Design Firm

R.R.
Drawn by:

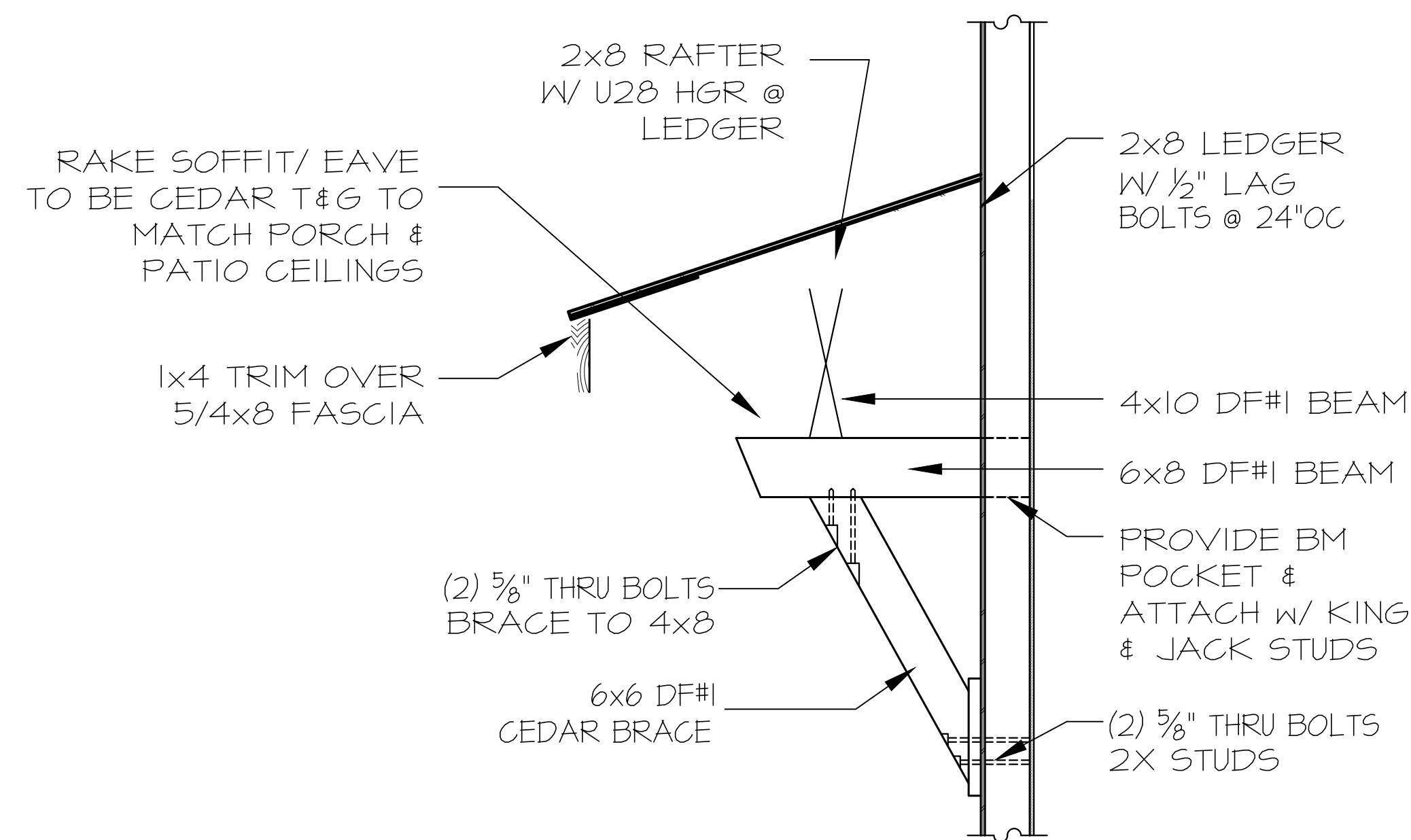
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Checked by:

Primary Scale

A12
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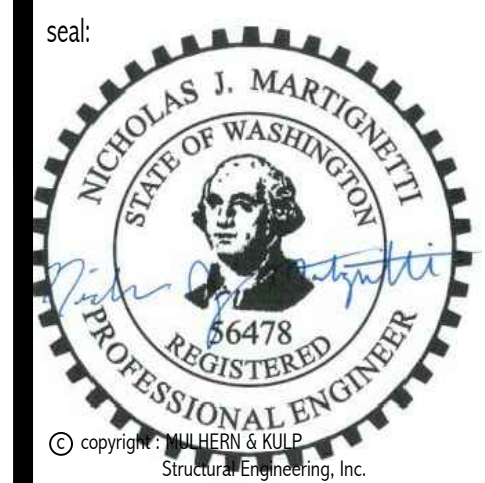


A BUILDING SECTION
1/4" = 1'-0"



B BRACKET/ AWNING ROOF DETAIL
3/4" = 1'-0"

Sheet Title/Description



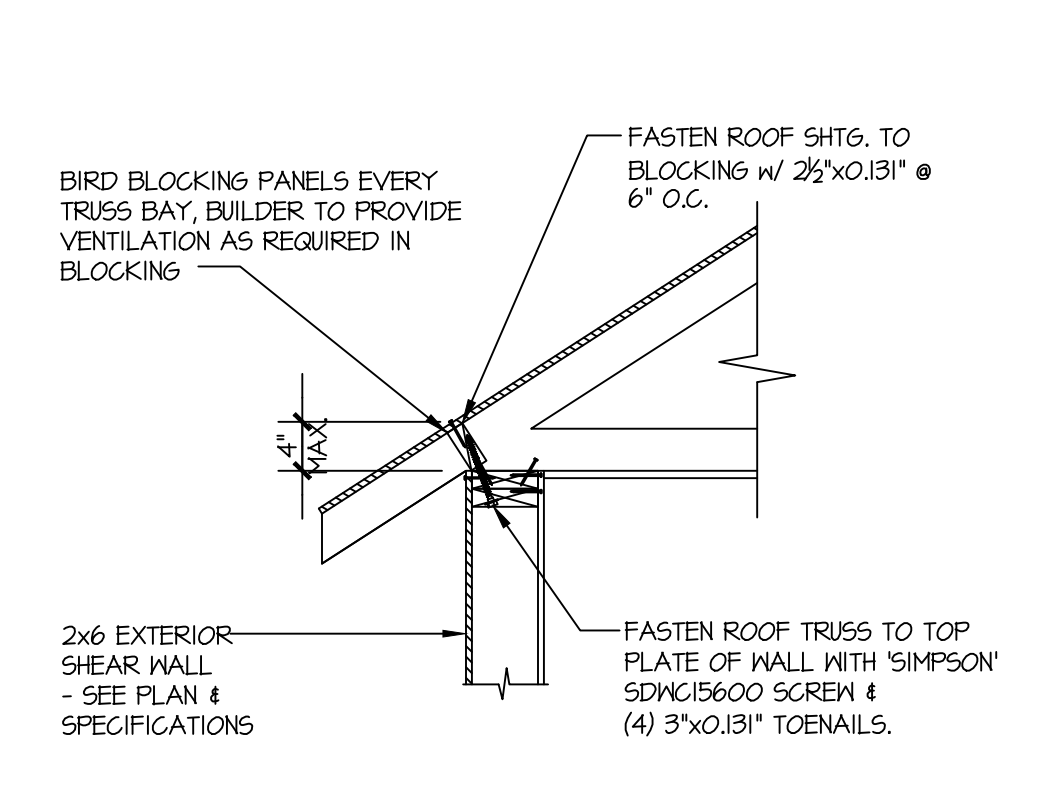
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M&K project number:
154-21035
project mgr: RJZ
drawn by: NJD
issue date: 12-21-21
REVISIONS:
date: initial:

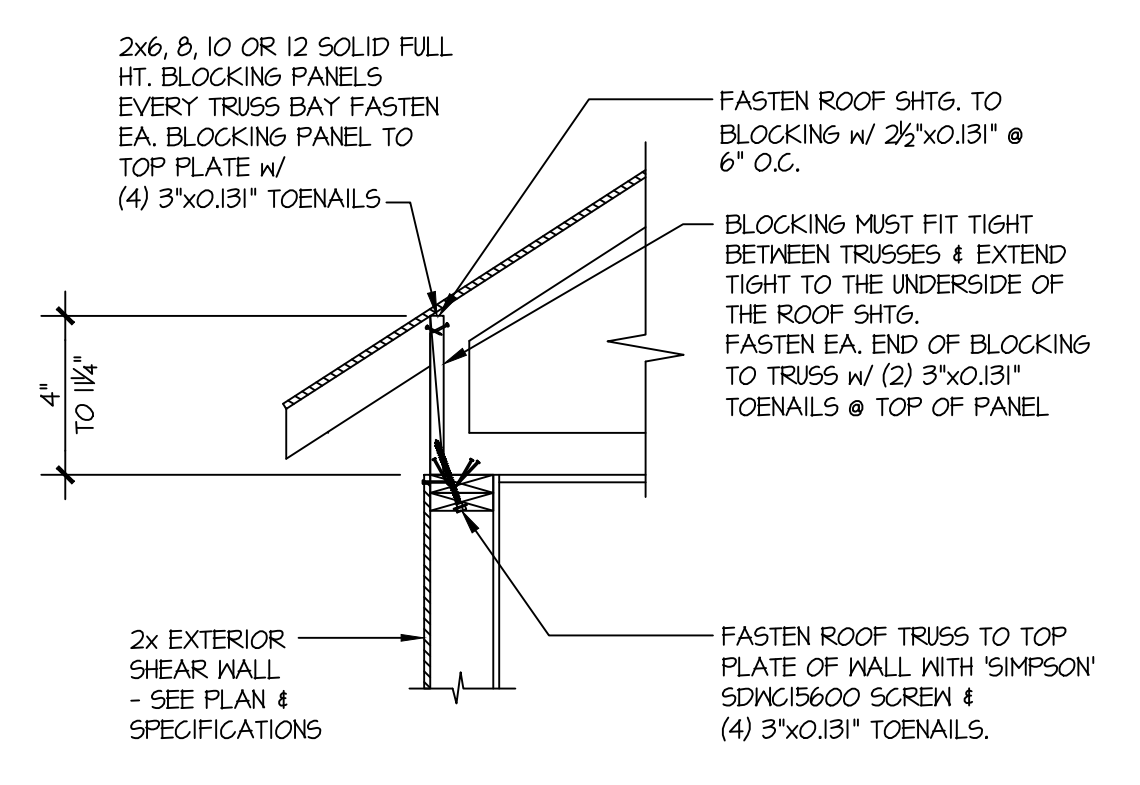


LATERAL BRACING DETAILS
4533 90TH AVE. SW
MERCER ISLAND, WASHINGTON

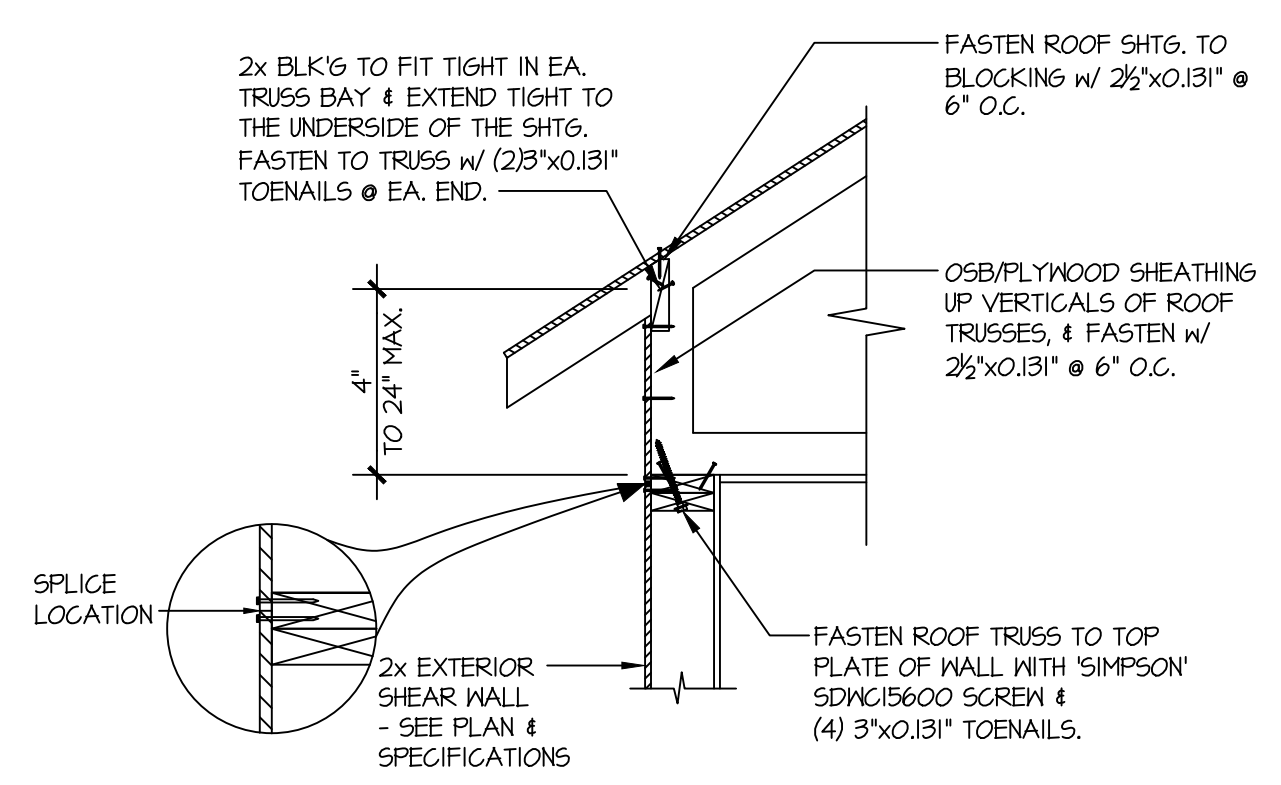
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LB-1



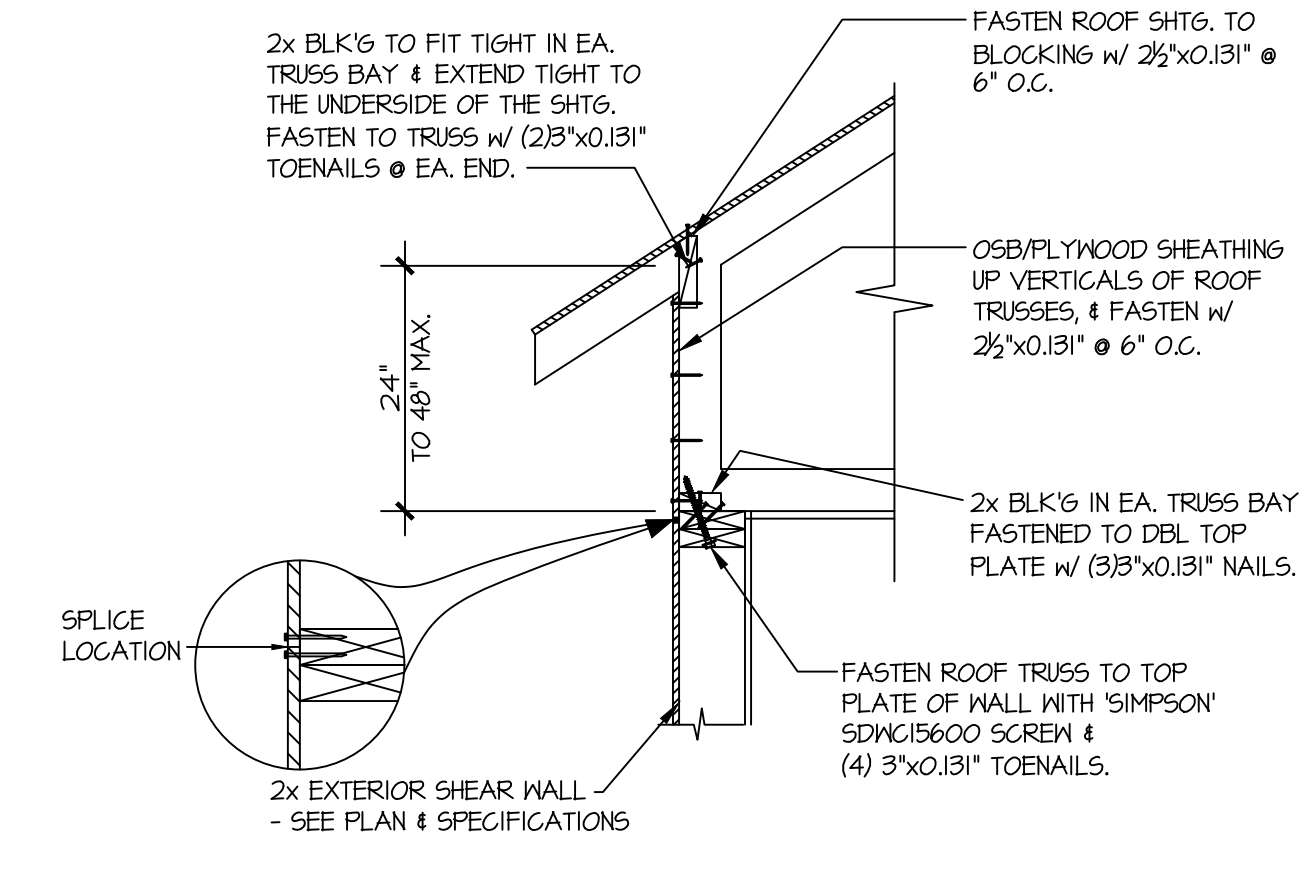
1 SECTION
SCALE: 3/4"=1'-0" HEEL HEIGHT LESS THAN 4"



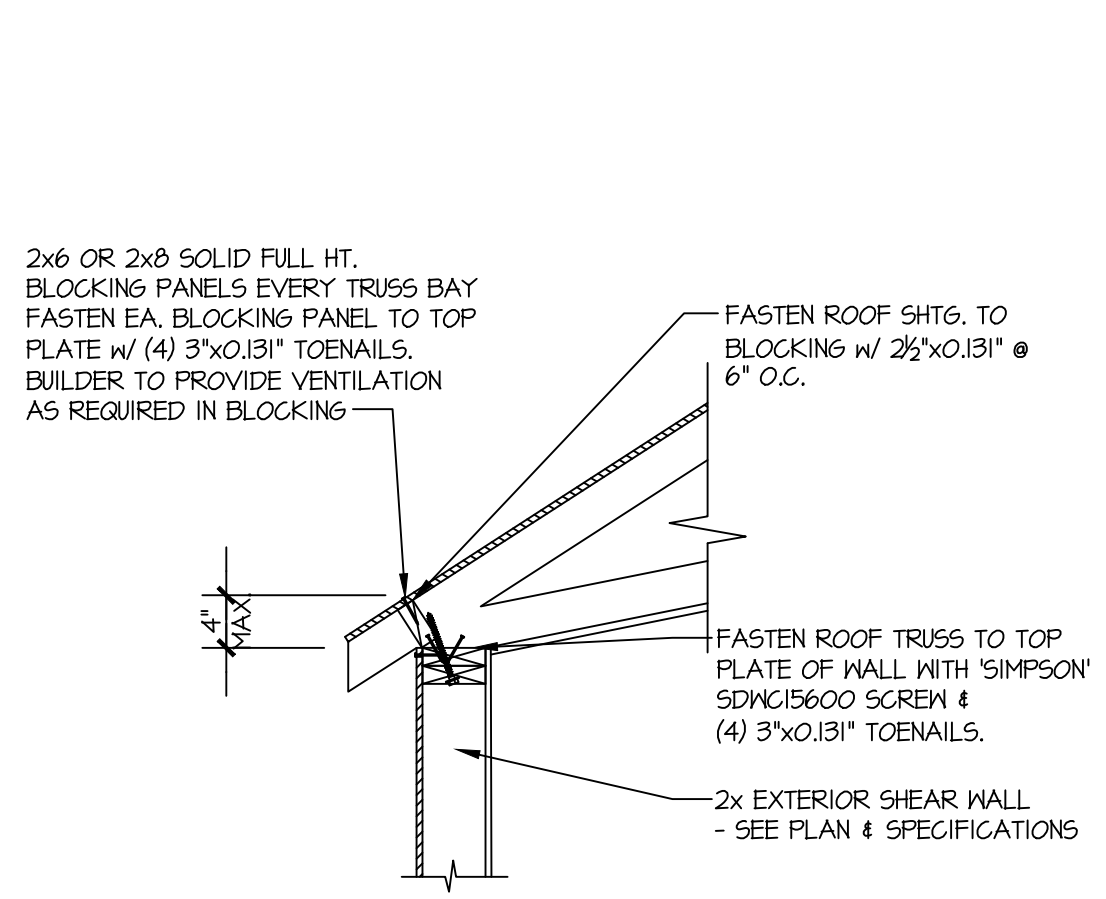
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SCALE: 3/4"=1'-0" HEEL HEIGHT BETWEEN 4" - 11¼"



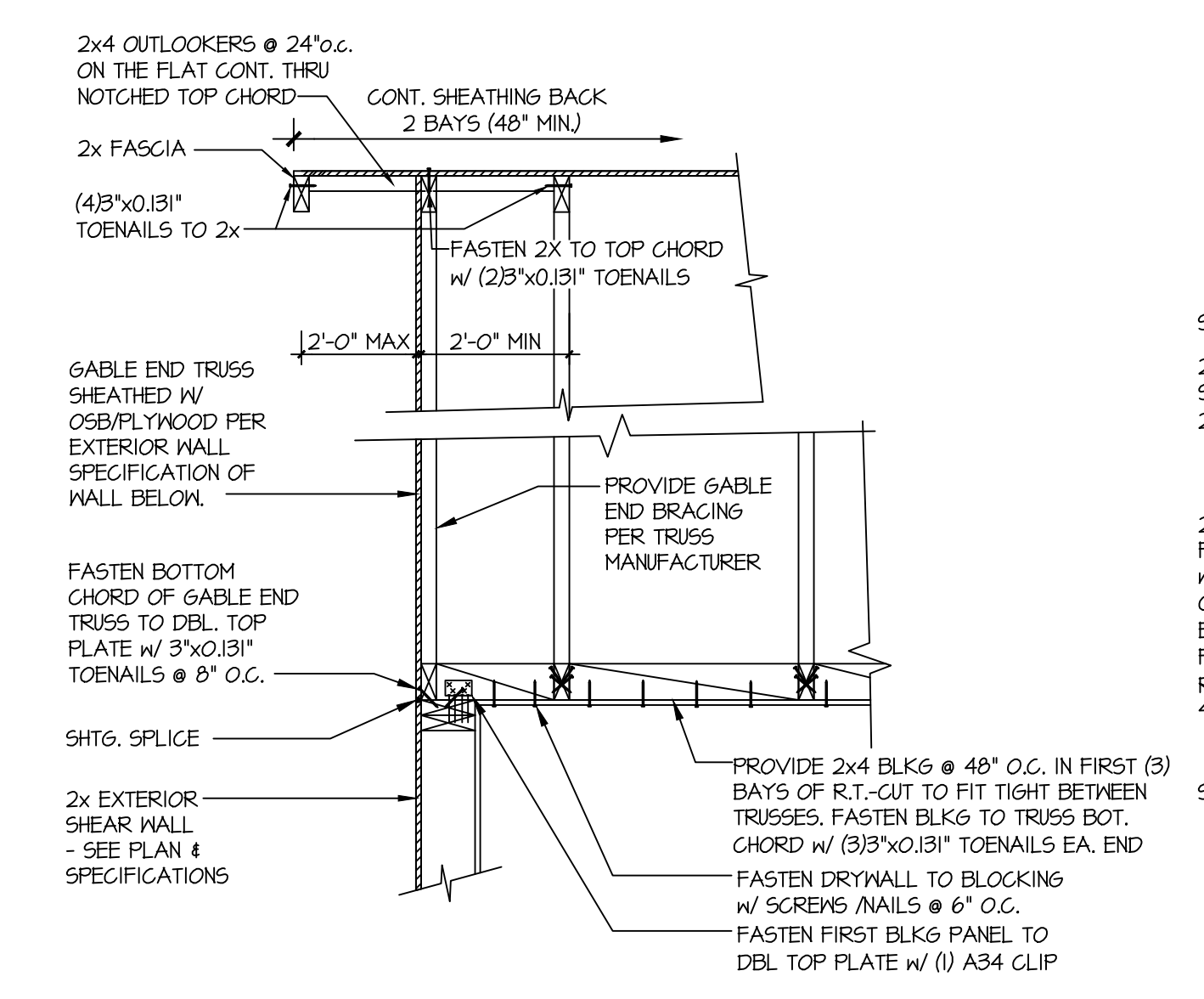
3 SECTION
SCALE: 3/4"=1'-0" HEEL HEIGHT UP TO 24" MAX.



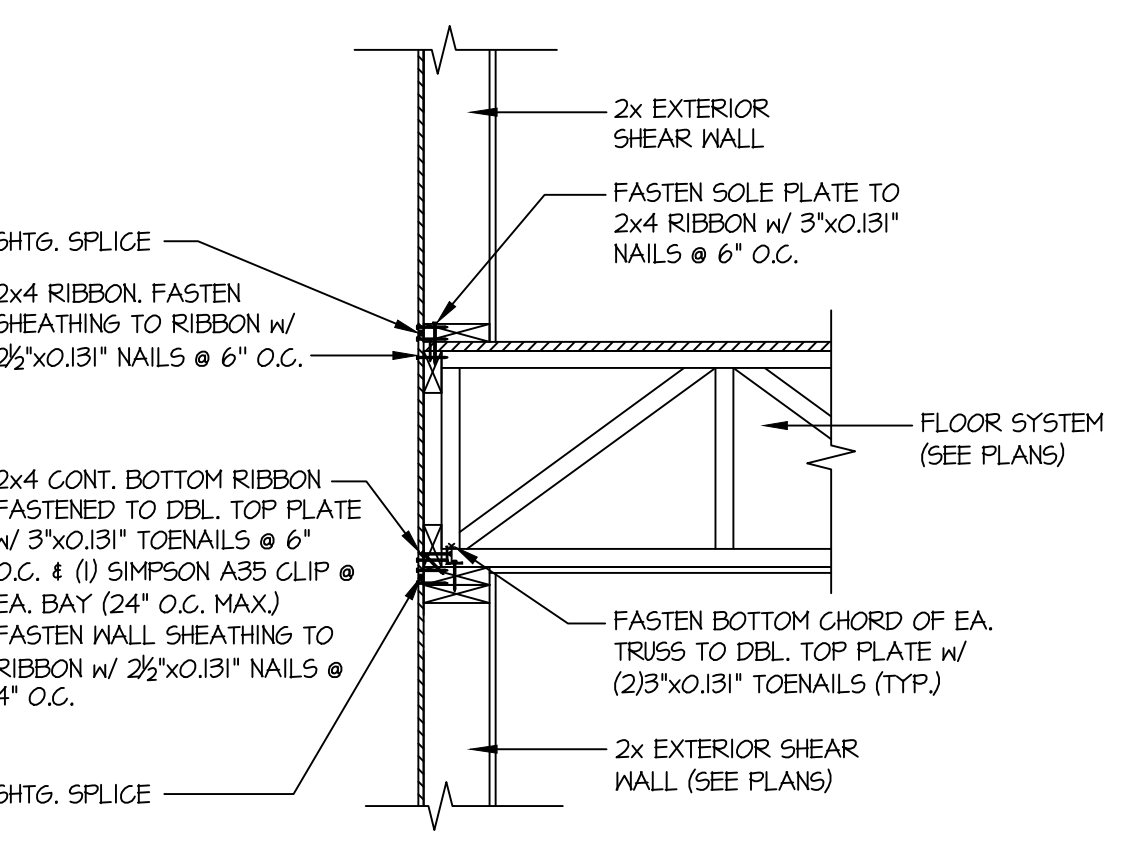
3A SECTION
SCALE: 3/4"=1'-0" HEEL HEIGHT UP TO 48" MAX.



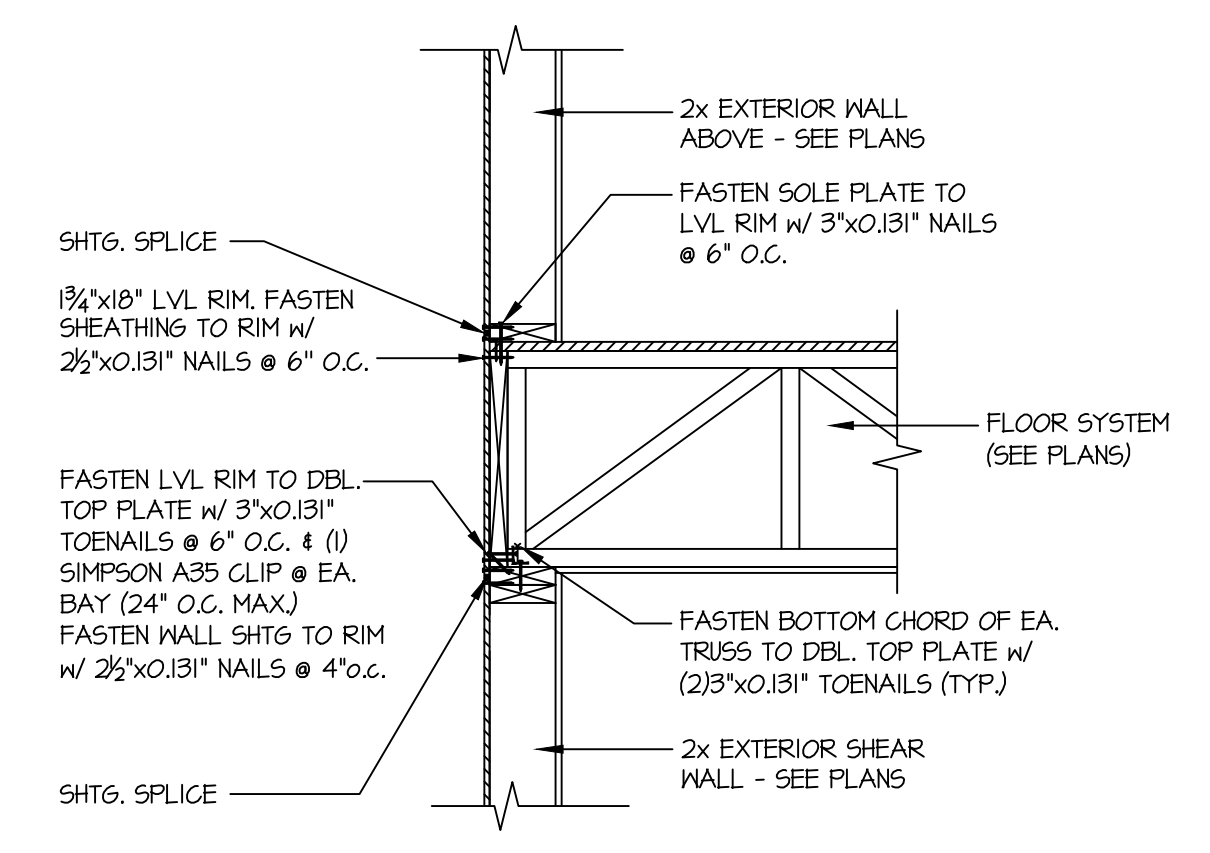
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SCALE: 3/4"=1'-0"



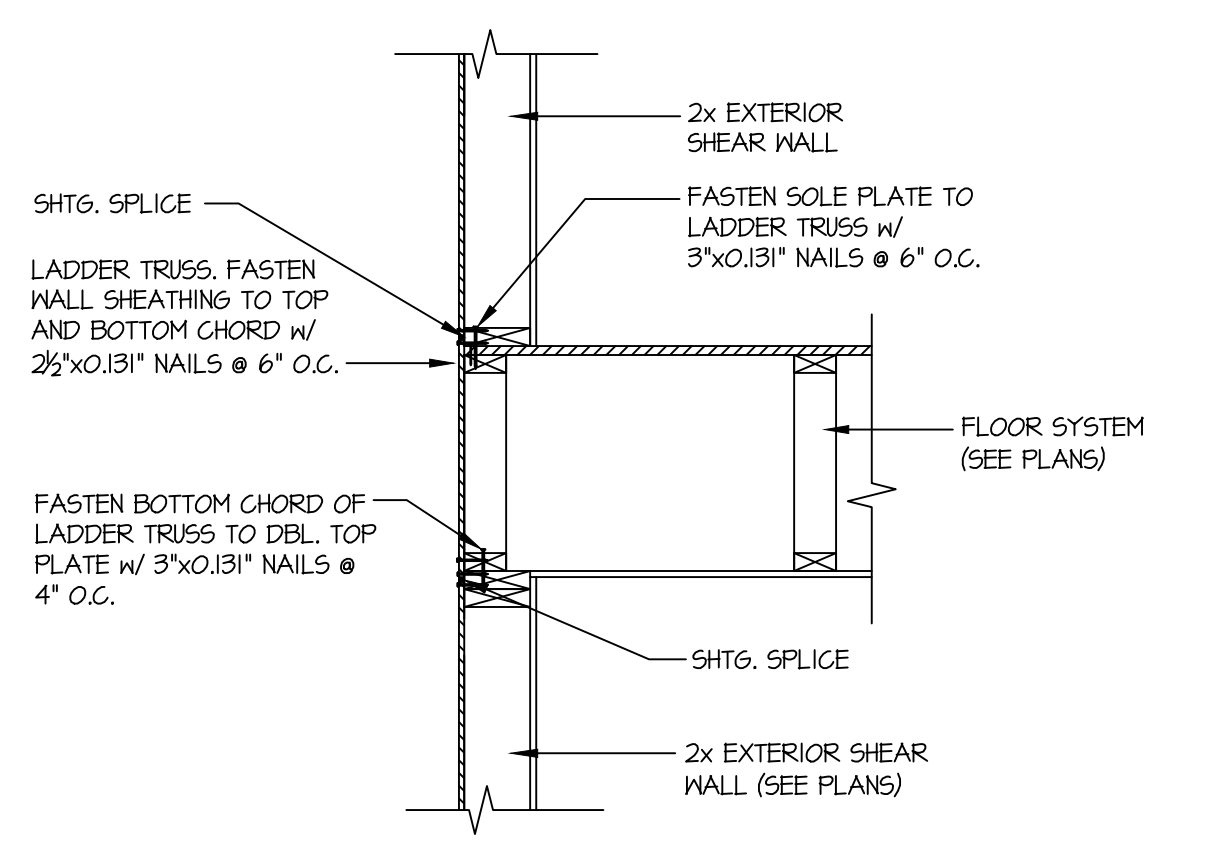
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SCALE: 3/4"=1'-0"



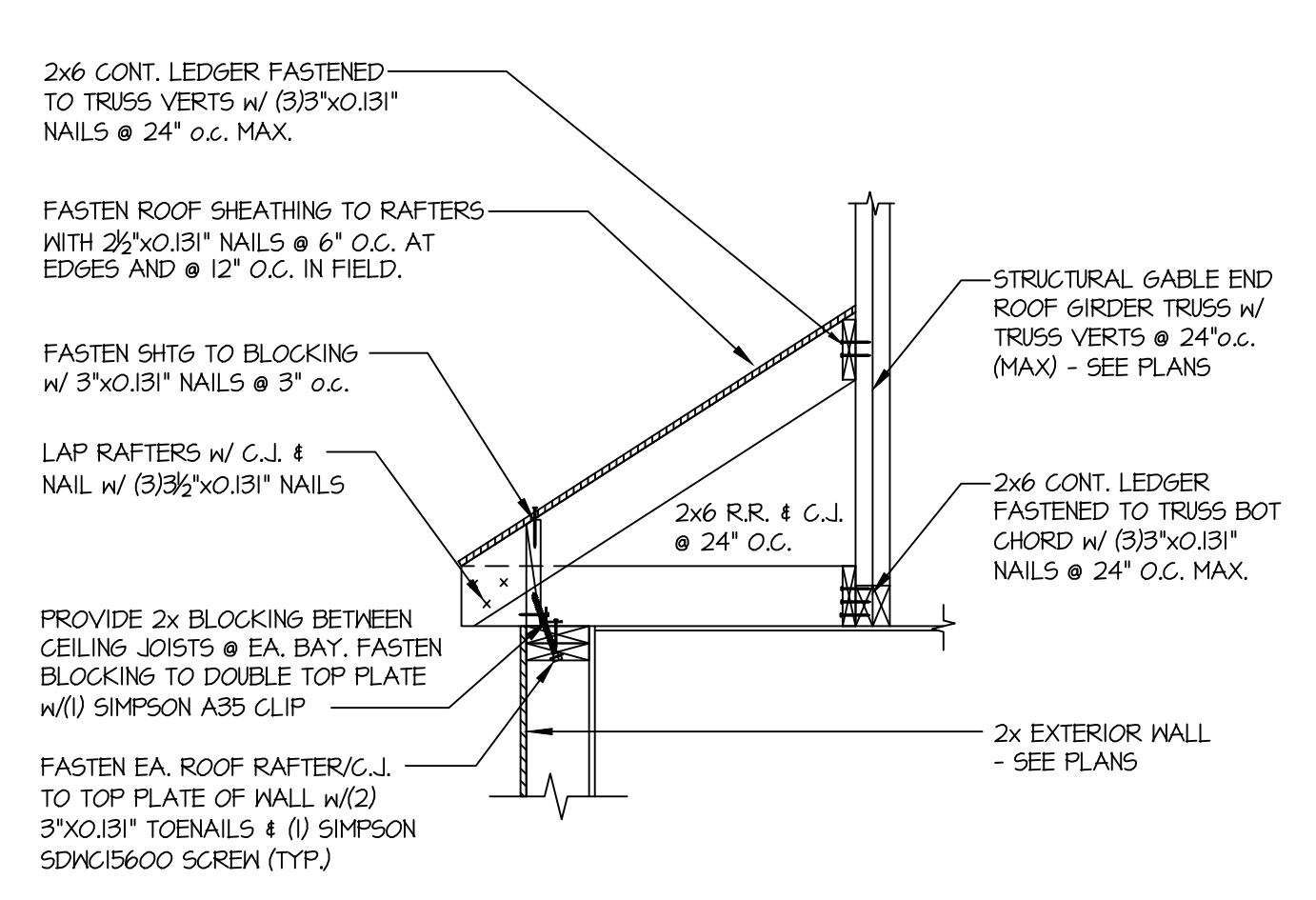
3 SECTION
SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



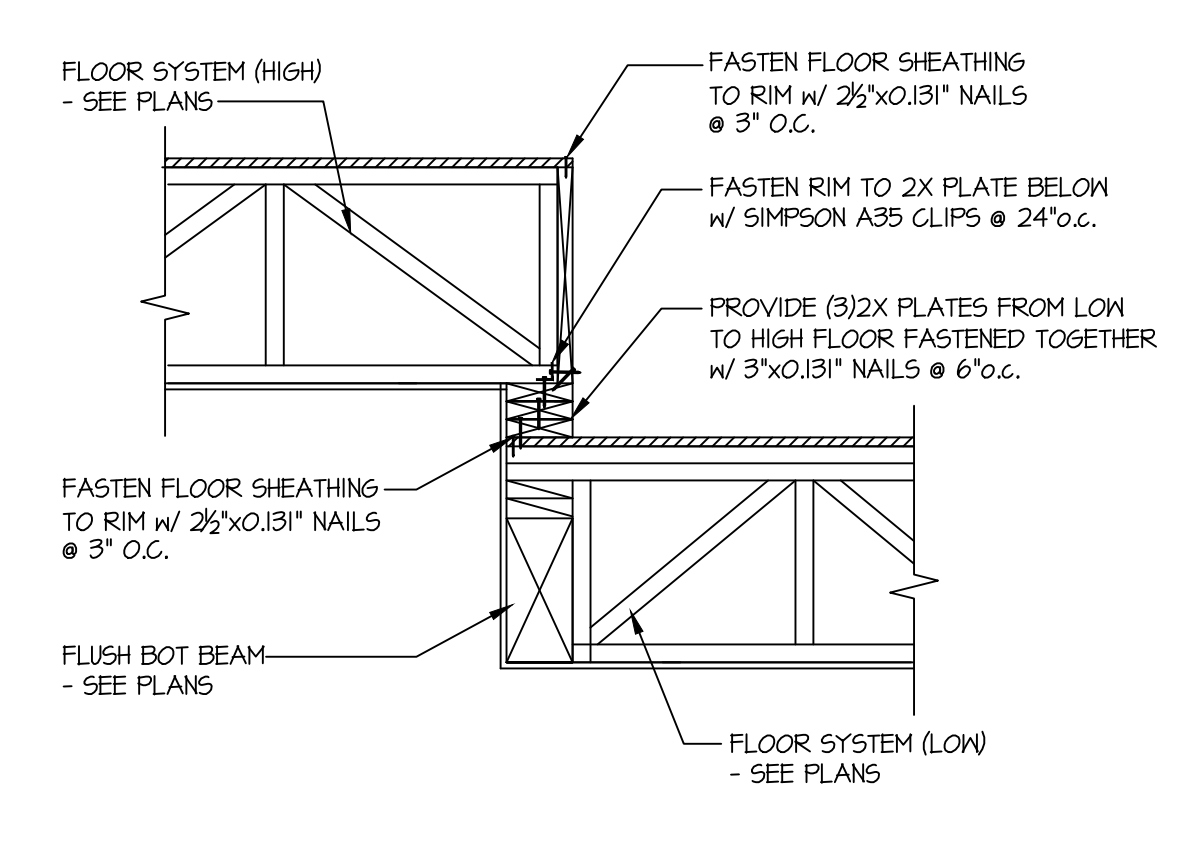
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SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



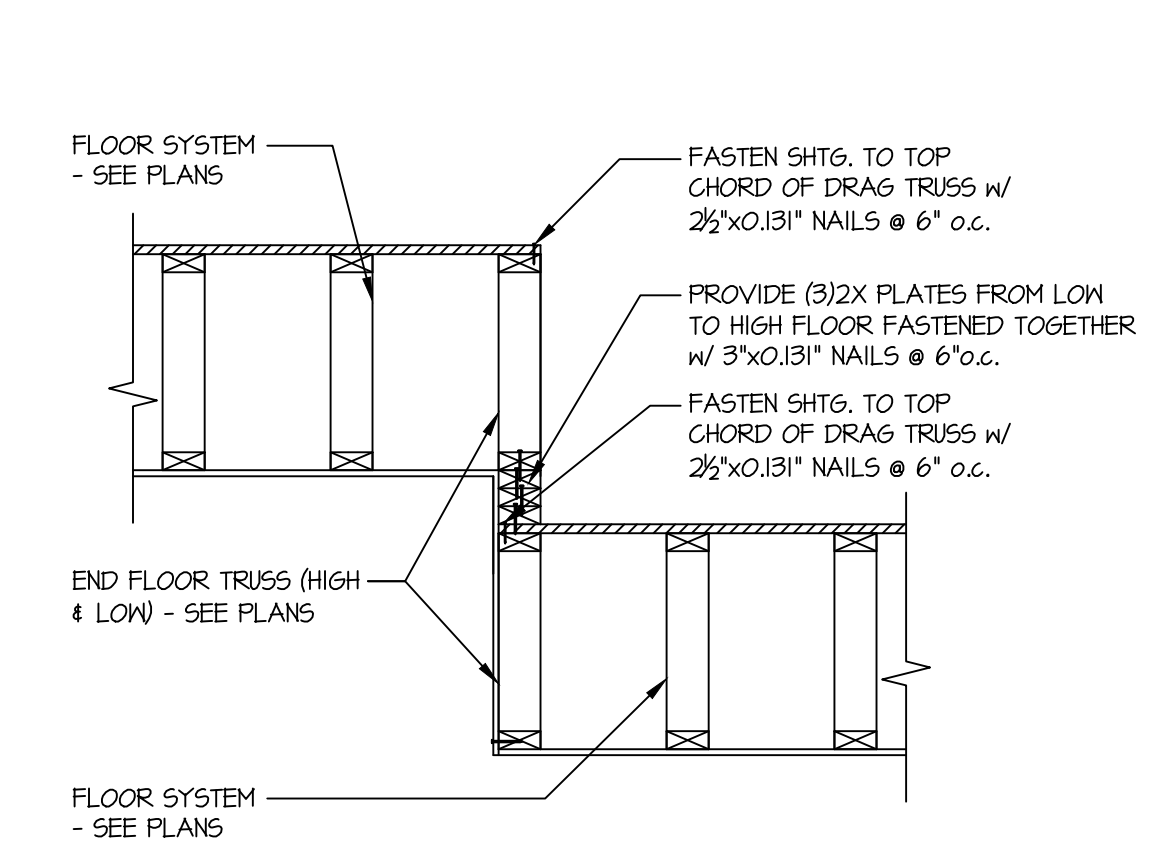
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SCALE: 3/4"=1'-0" PARALLEL FRAMING



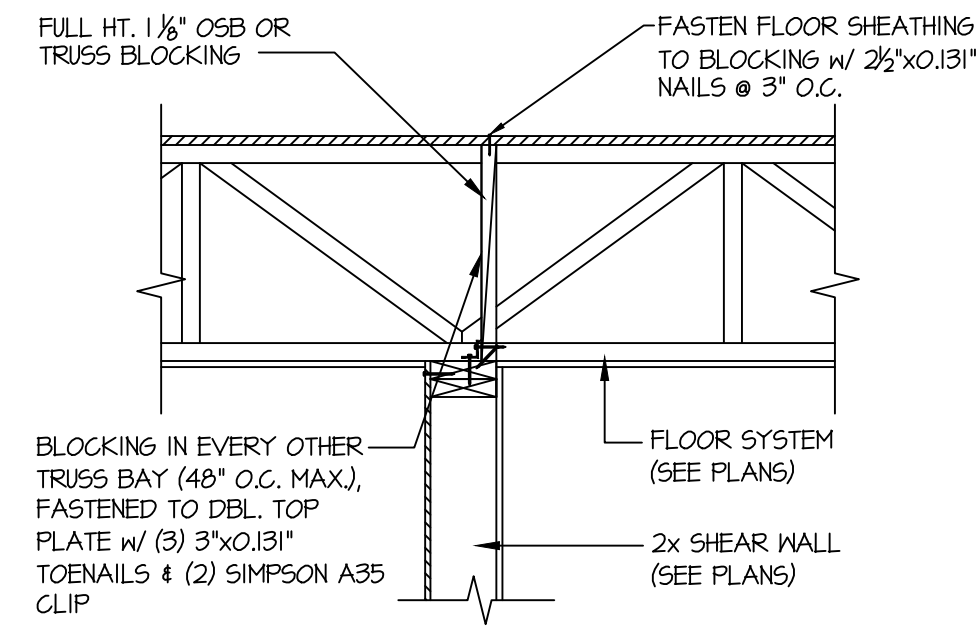
5 SECTION
SCALE: 3/4"=1'-0"



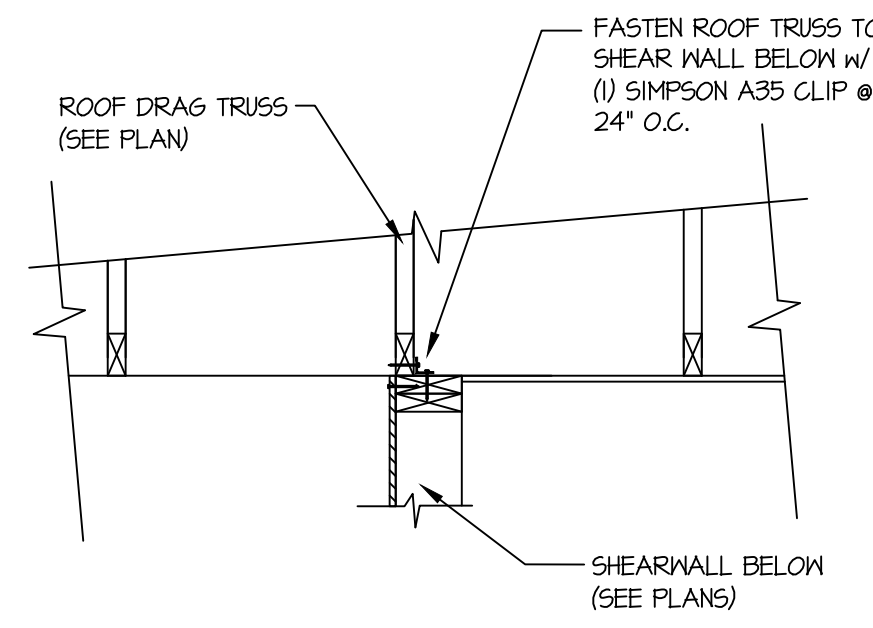
6 SECTION
SCALE: 3/4"=1'-0"



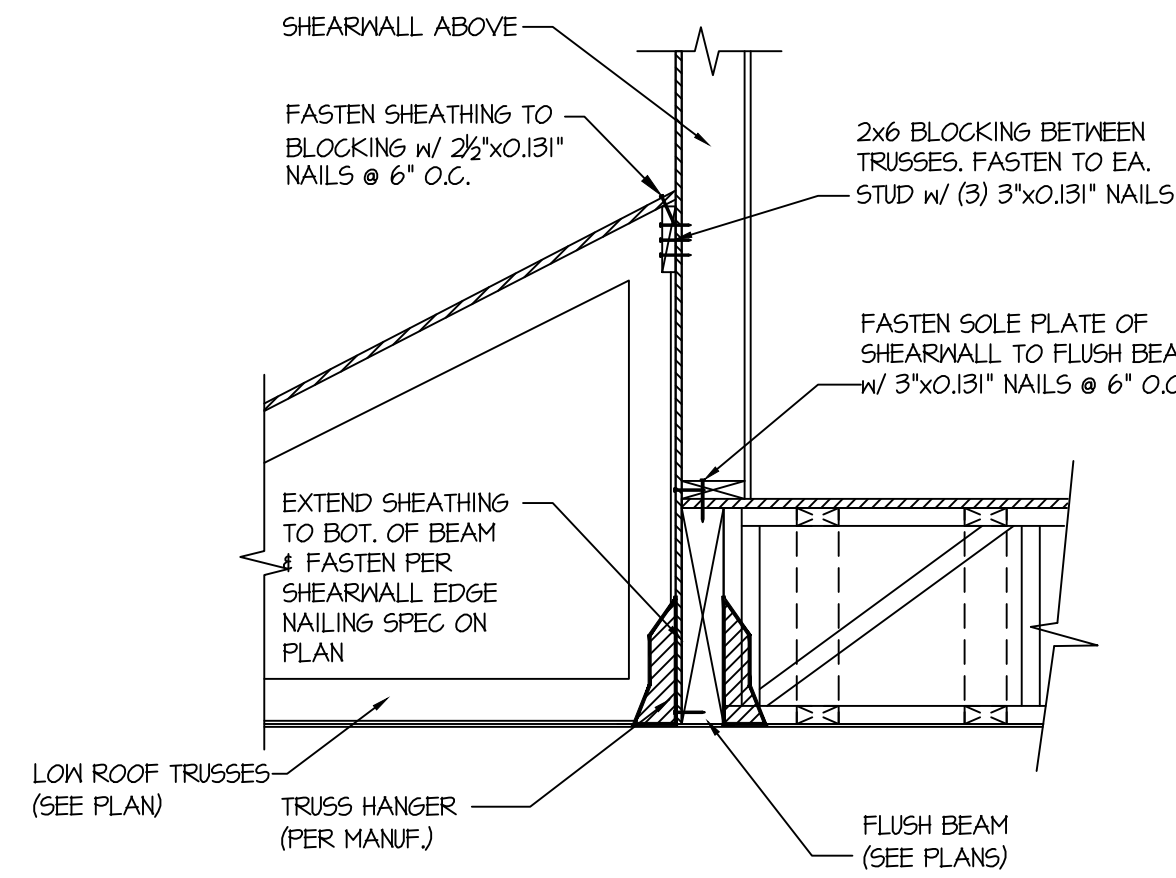
7 SECTION
SCALE: 3/4"=1'-0"



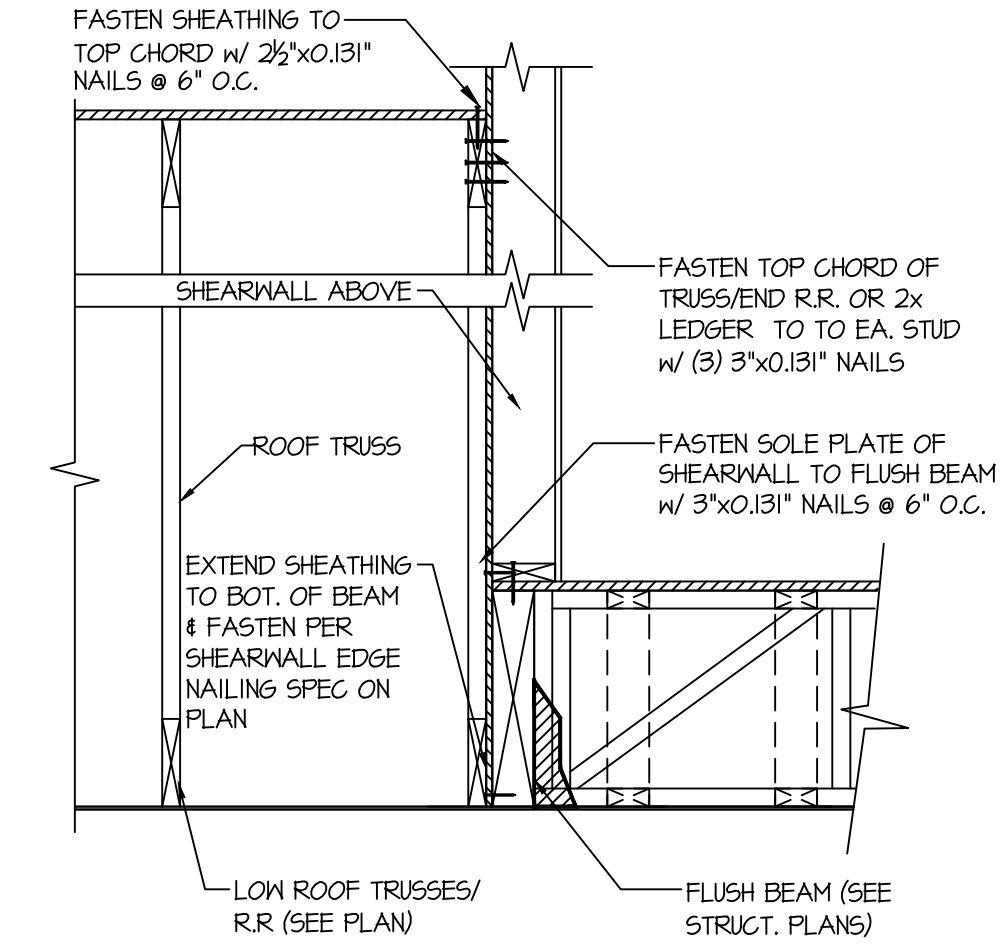
14 SECTION
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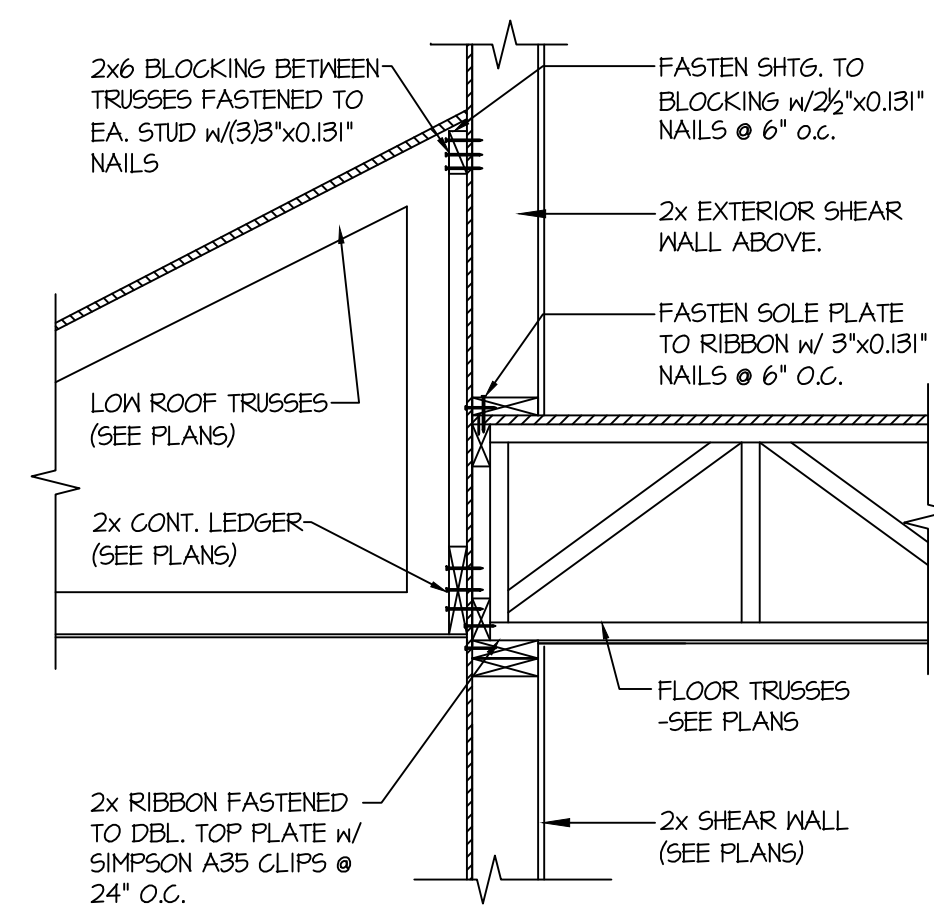
47 SECTION
SCALE: 3/4"=1'-0"



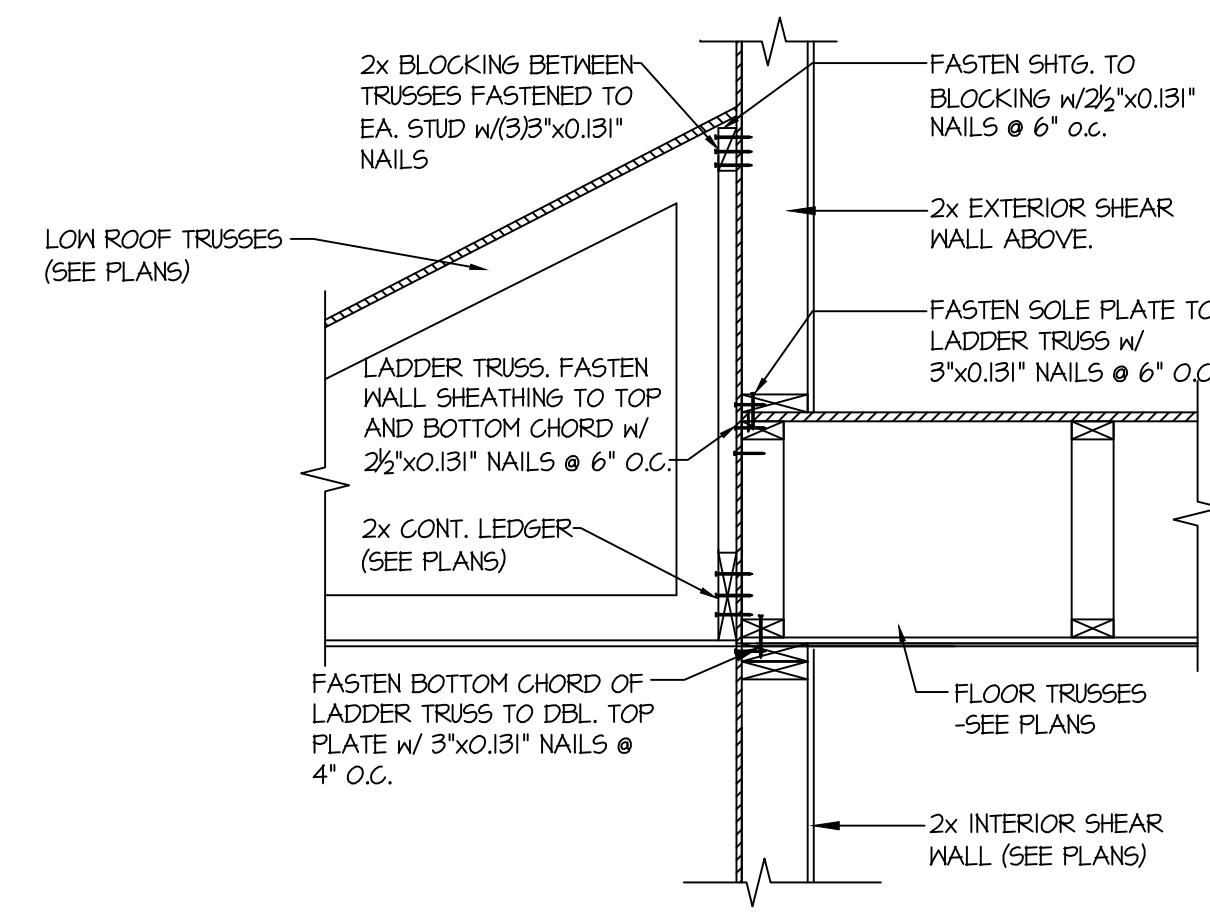
58 SECTION
SCALE: 3/4"=1'-0"



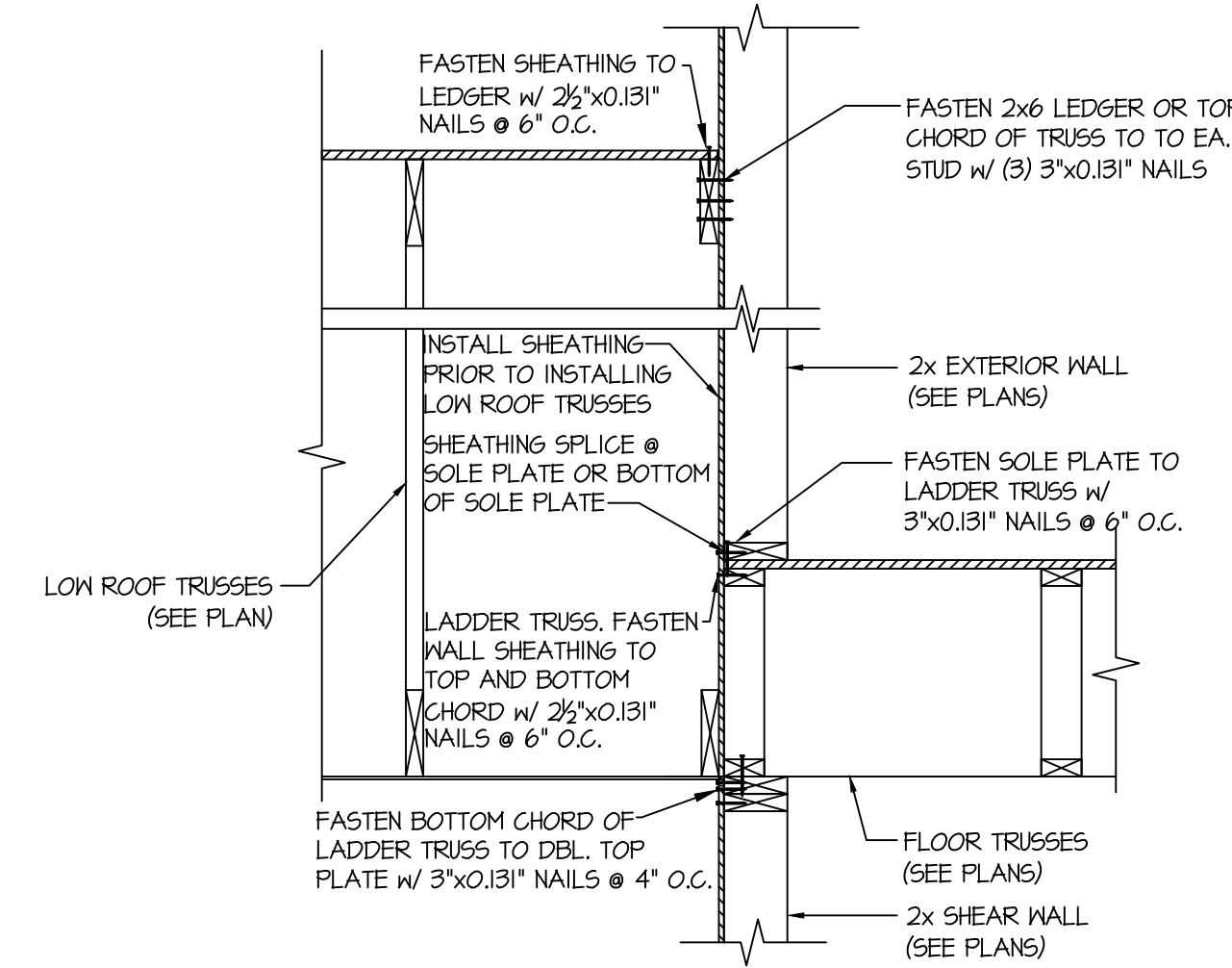
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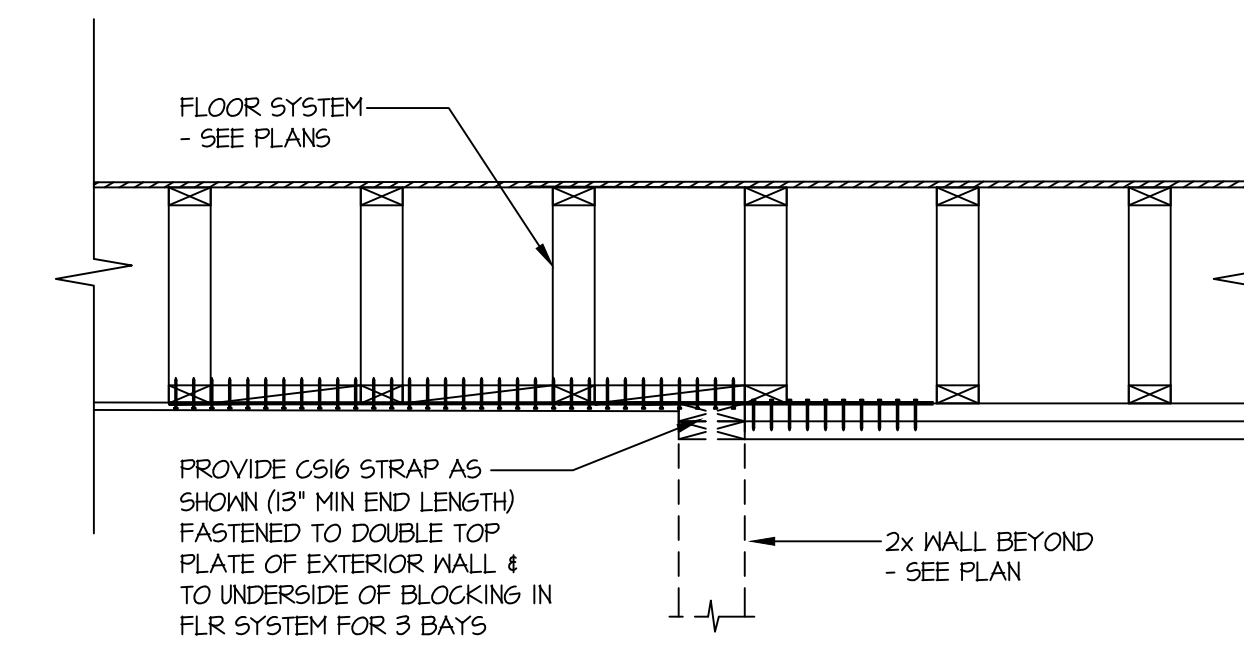
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SCALE: 3/4"=1'-0" PERPENDICULAR FRAMING



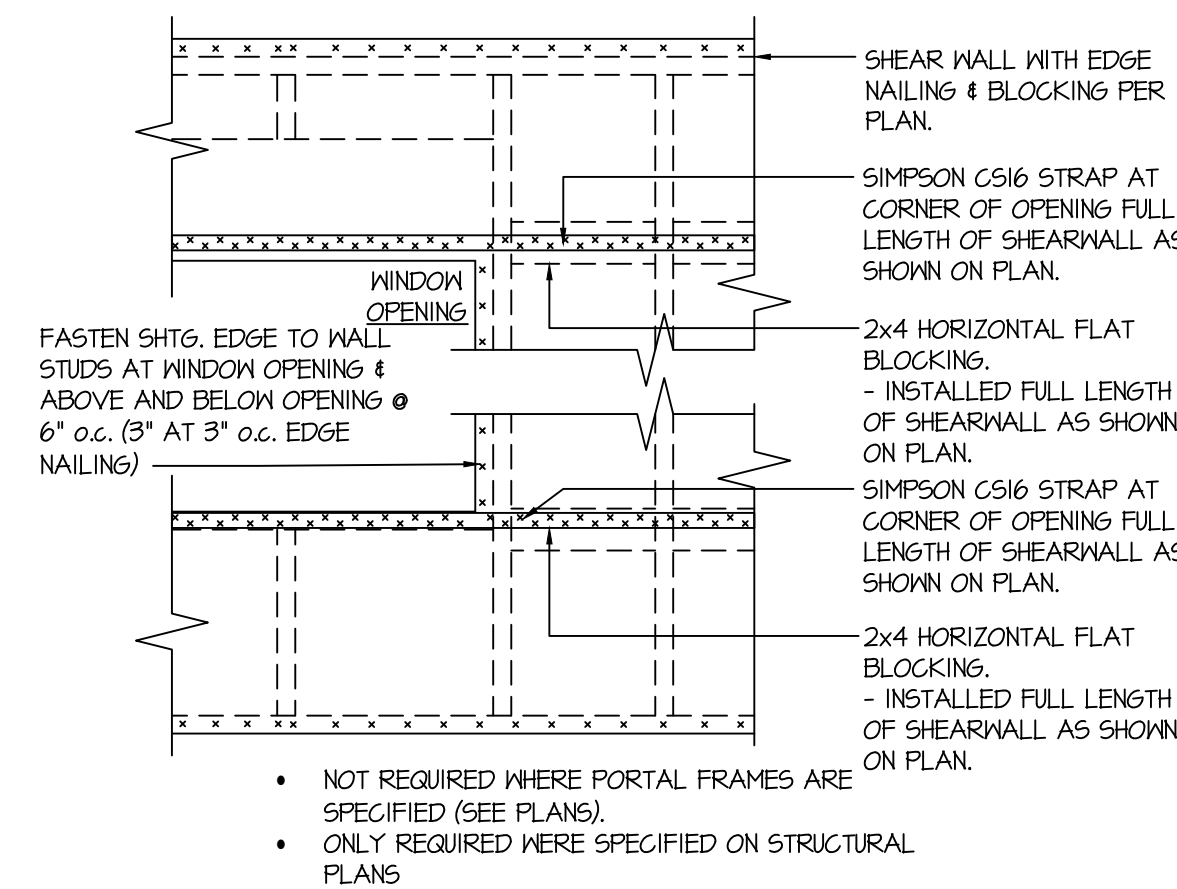
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SCALE: 3/4"=1'-0" PARALLEL FRAMING



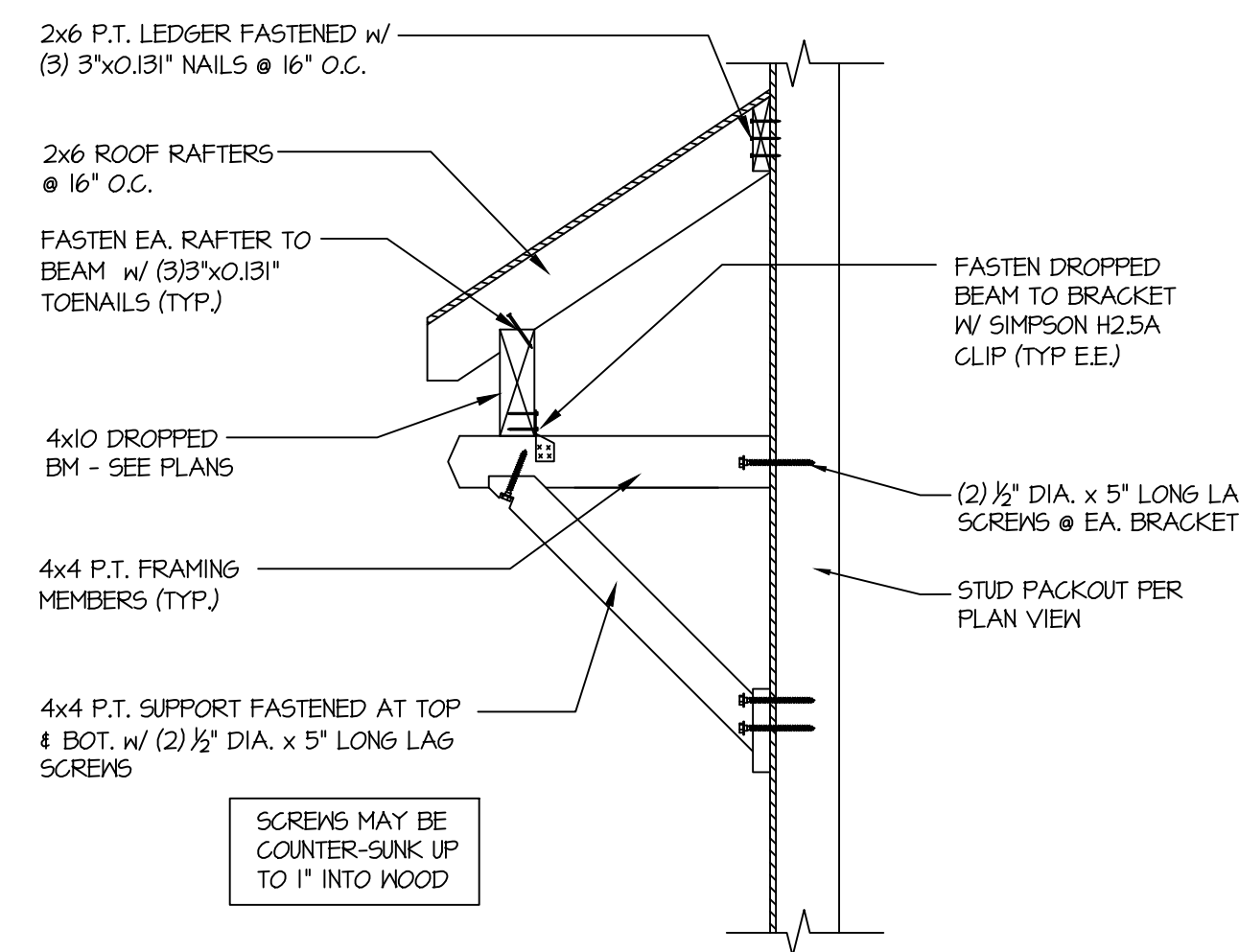
62 SECTION
SCALE: 3/4"=1'-0"



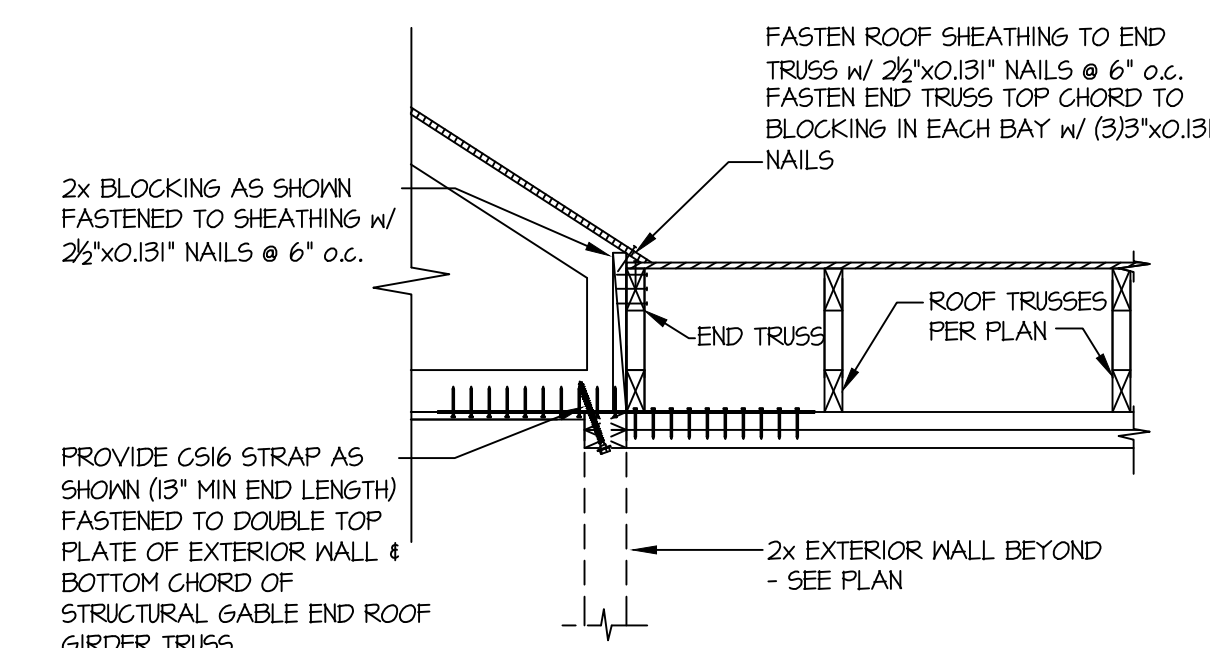
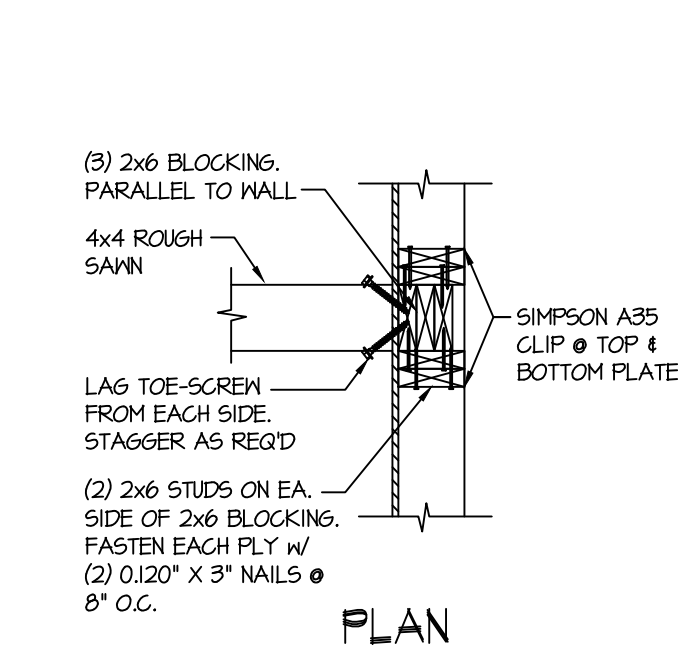
90 STRAP DETAIL
SCALE: 3/4"=1'-0"



94 EXT. WALL & INT. SHEARWALL OPENING STRAPPING ELEVATION
SCALE: NTS



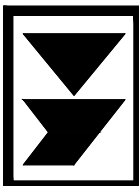
99 SUPPORT BRACKET DETAIL
SCALE: 3/4"=1'-0"



117 STRAP DETAIL
SCALE: 3/4"=1'-0"



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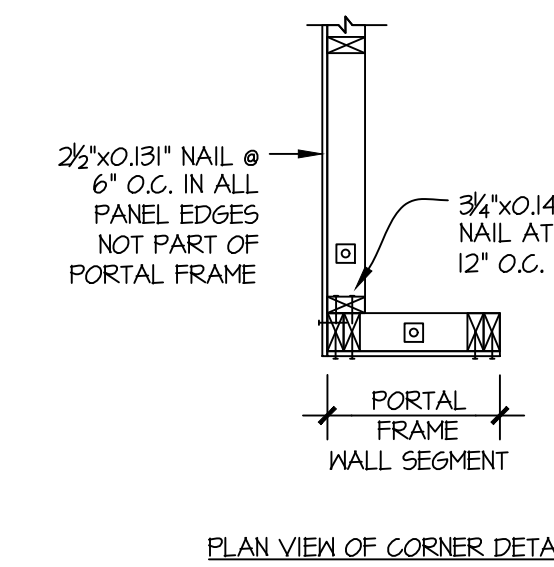
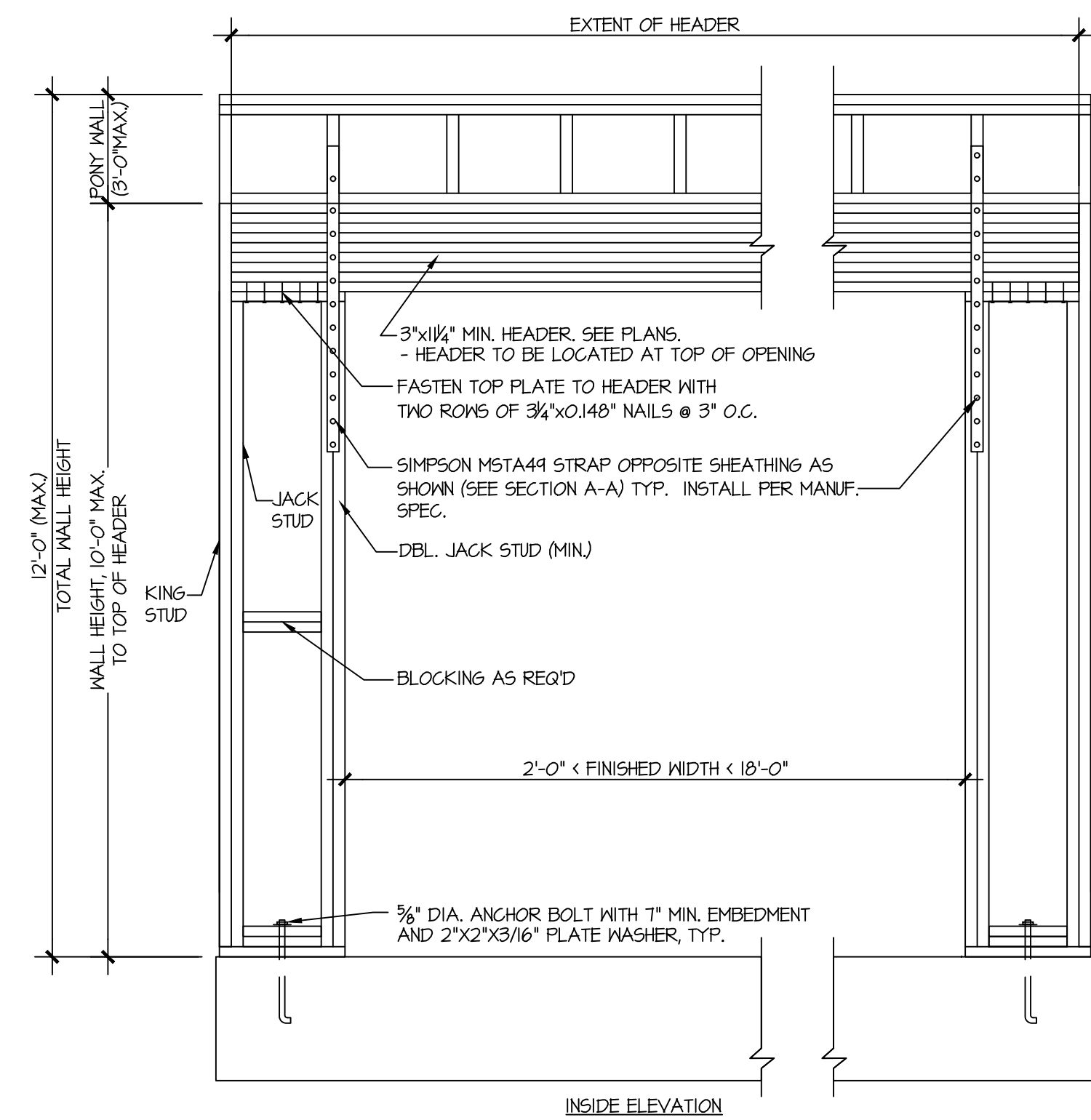
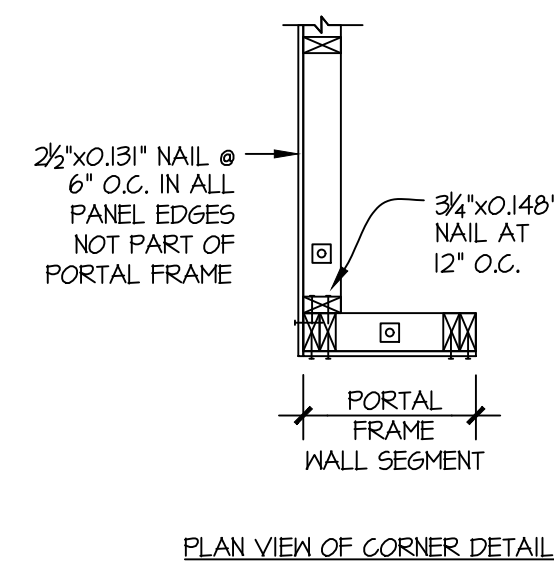
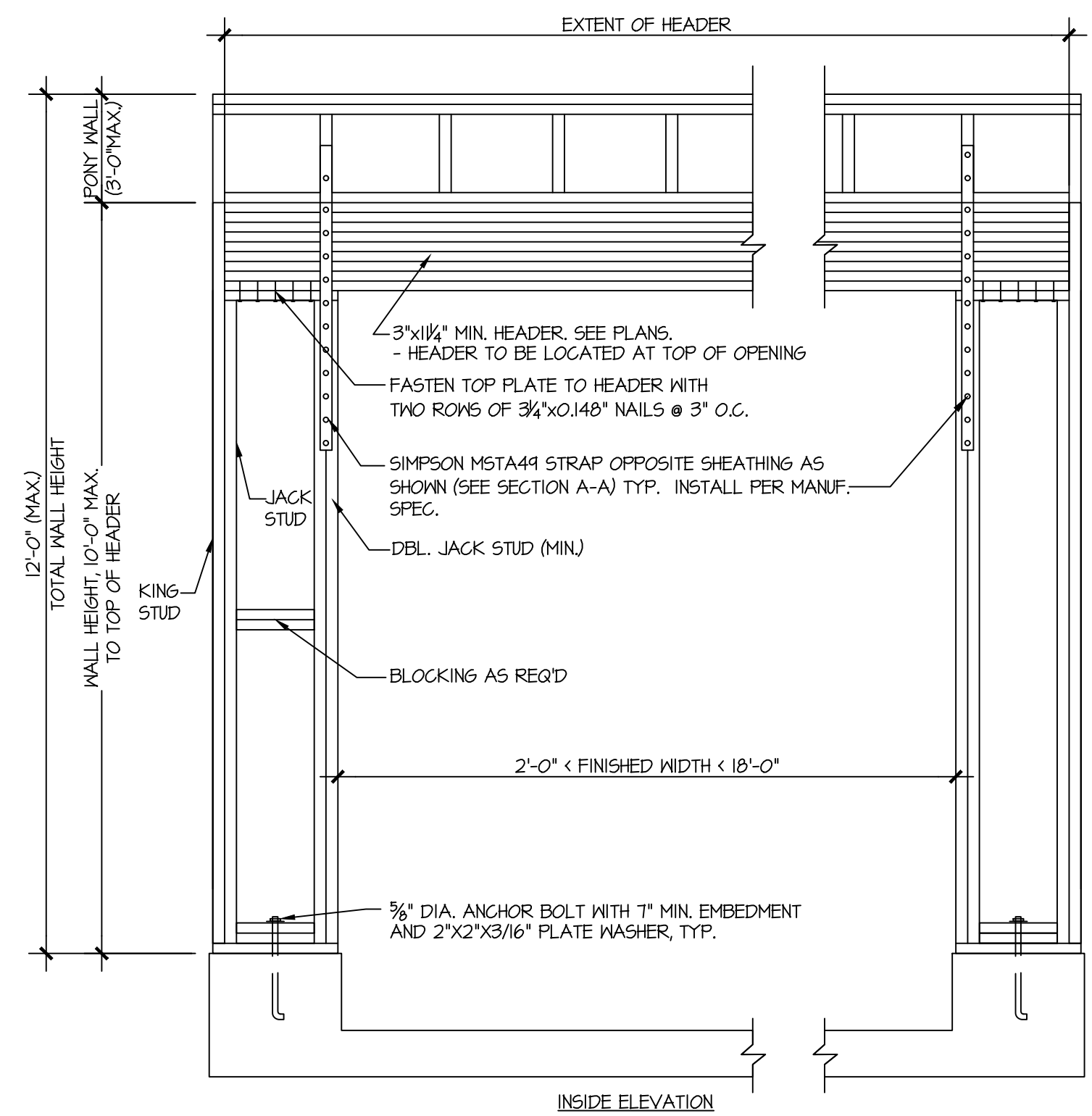
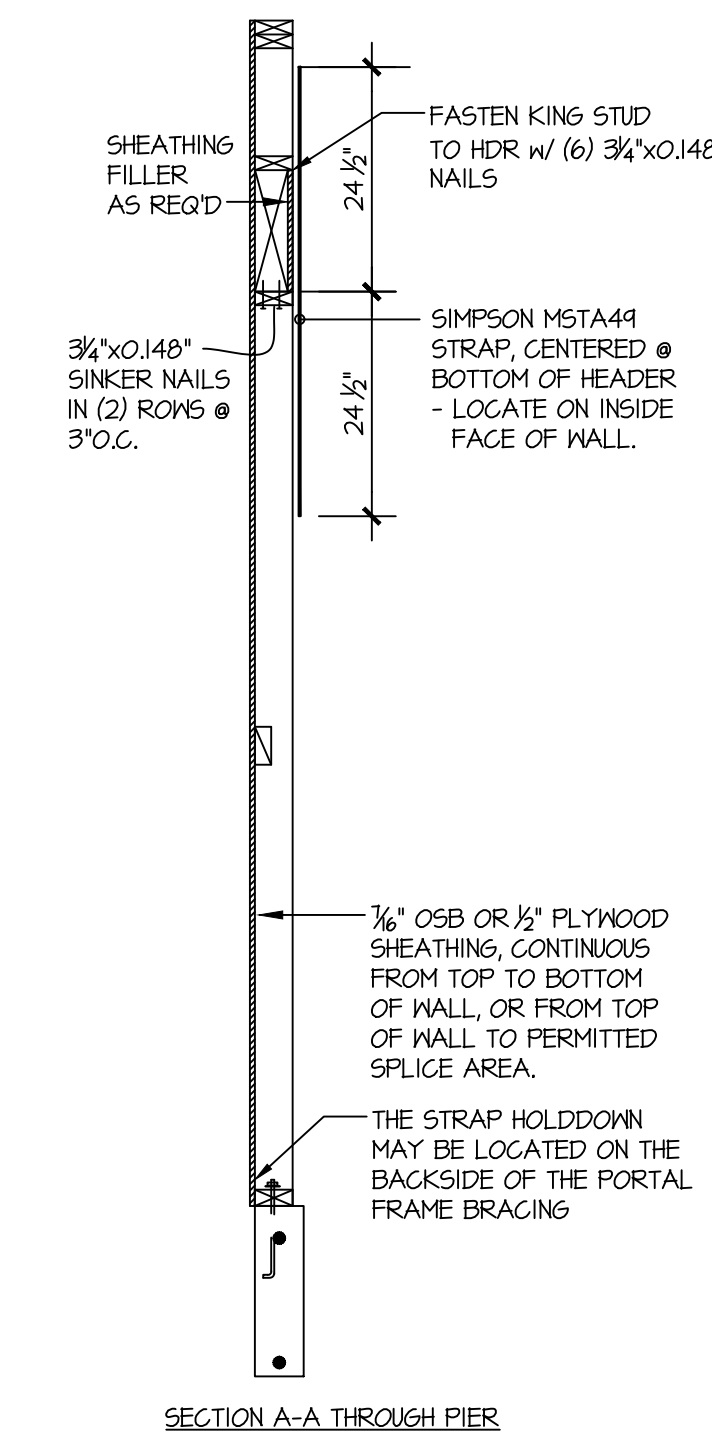
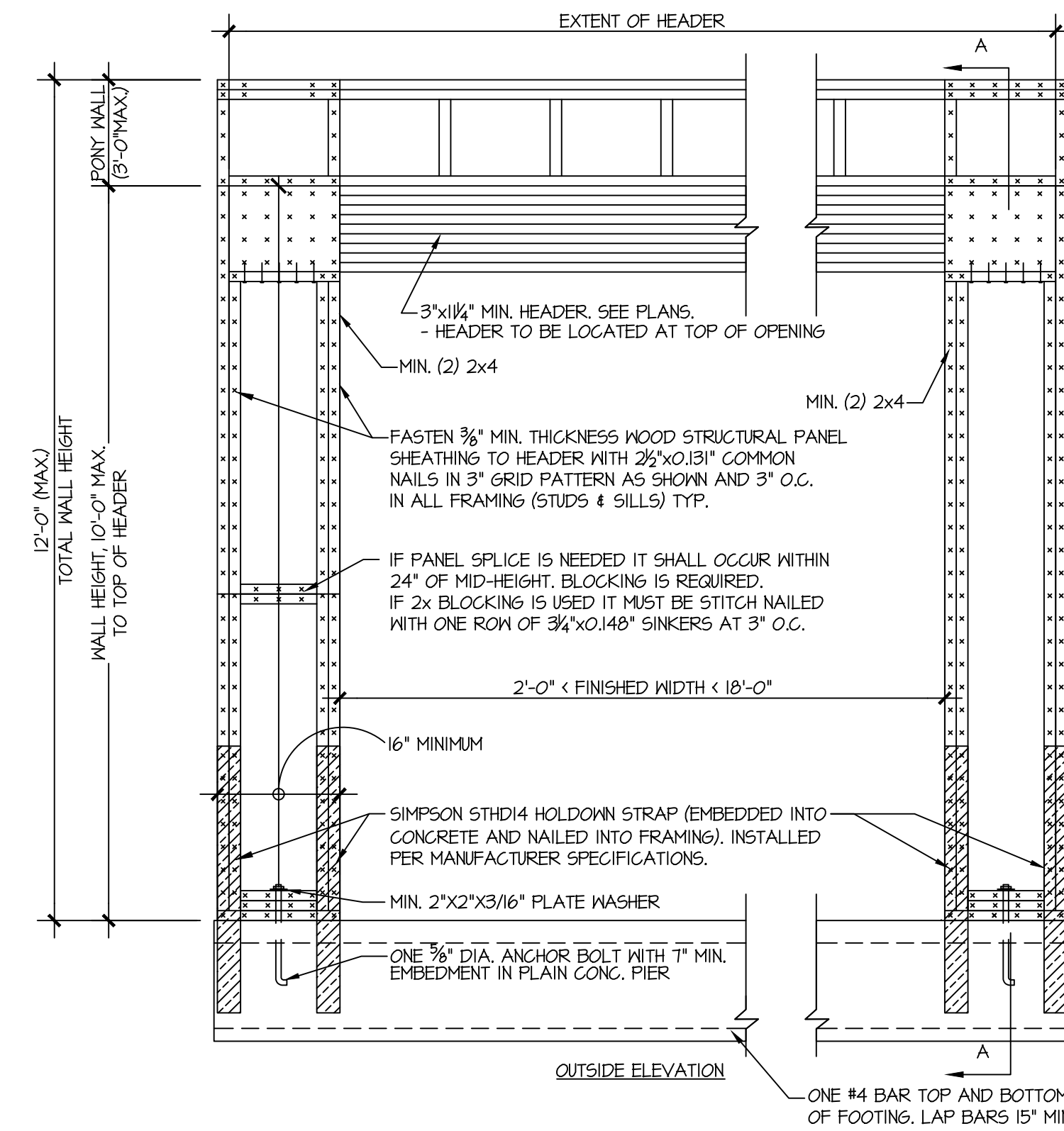
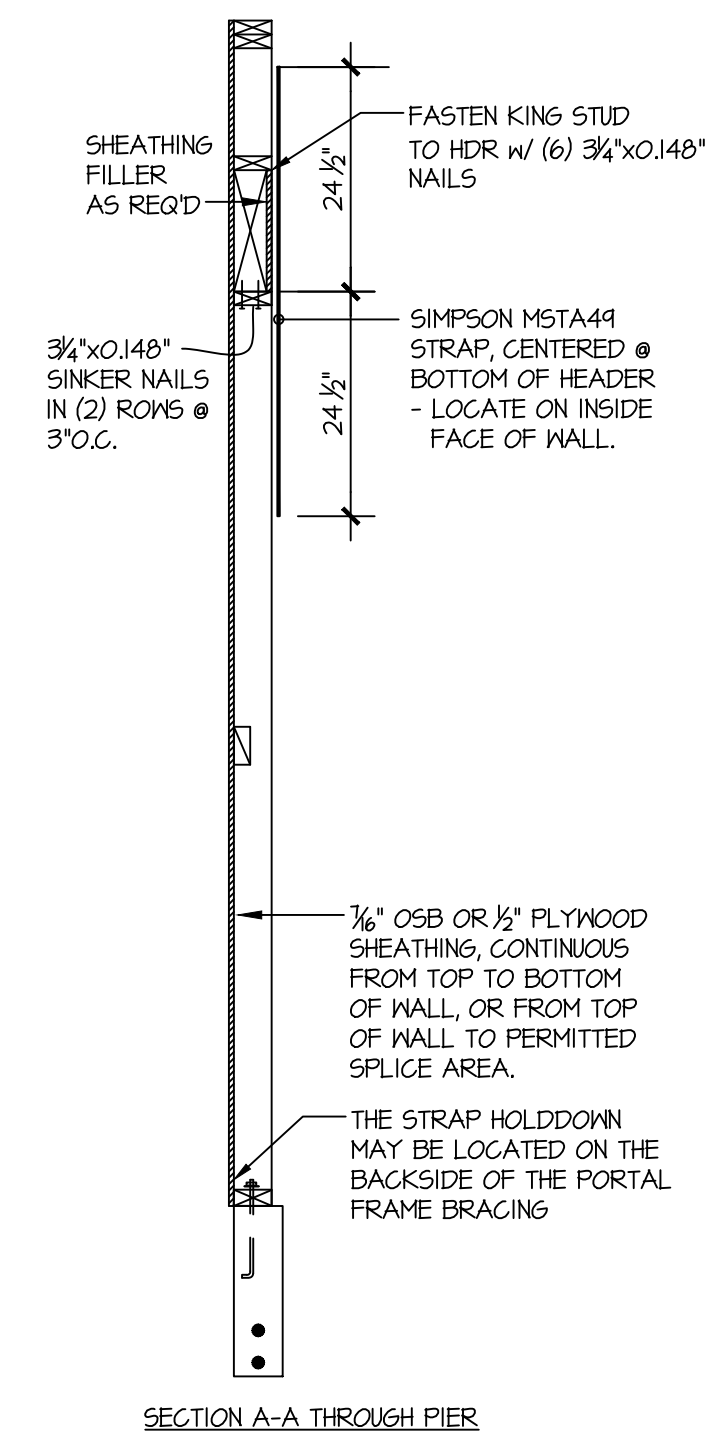
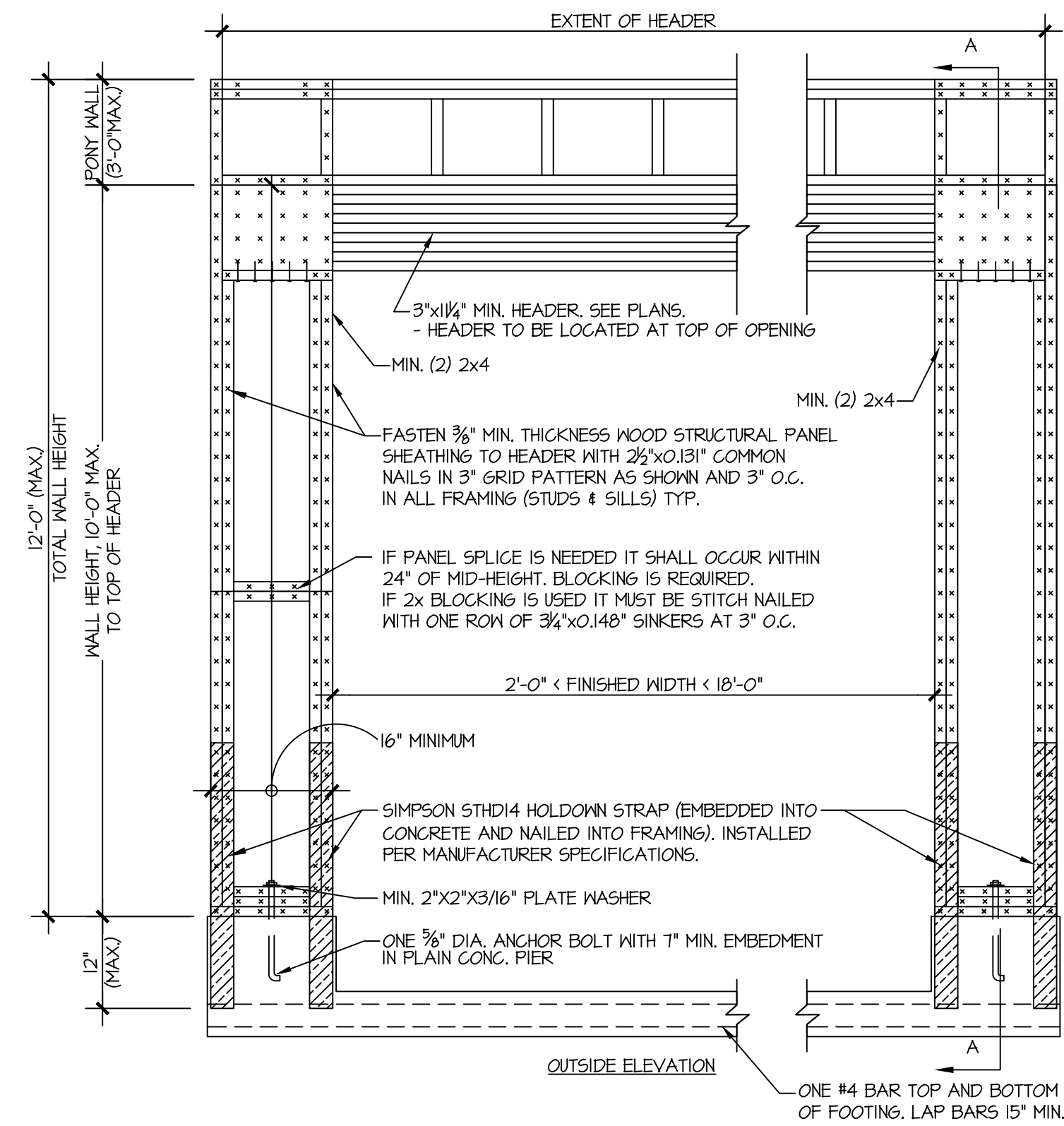
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154-21035
project mgr: RJZ
drawn by: NJD
issue date: 12-21-21

REVISIONS:	
date:	initial:



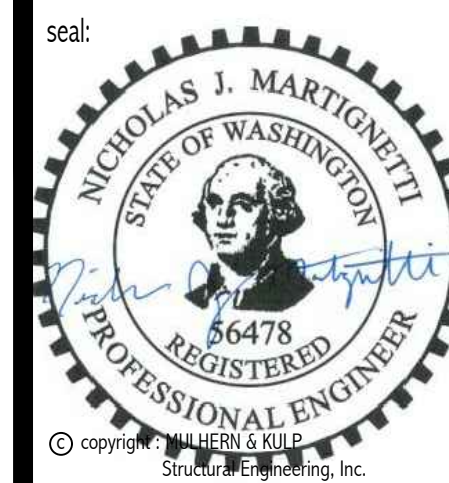
LATERAL BRACING DETAILS
4533 90TH AVE. SW
MERCER ISLAND, WASHINGTON

sheet:
LB-2



1 APA PORTAL FRAME DETAIL WITH HOLDOWNS
SCALE: N.T.S.

2 APA PORTAL FRAME DETAIL WITH HOLDOWNS
SCALE: N.T.S.



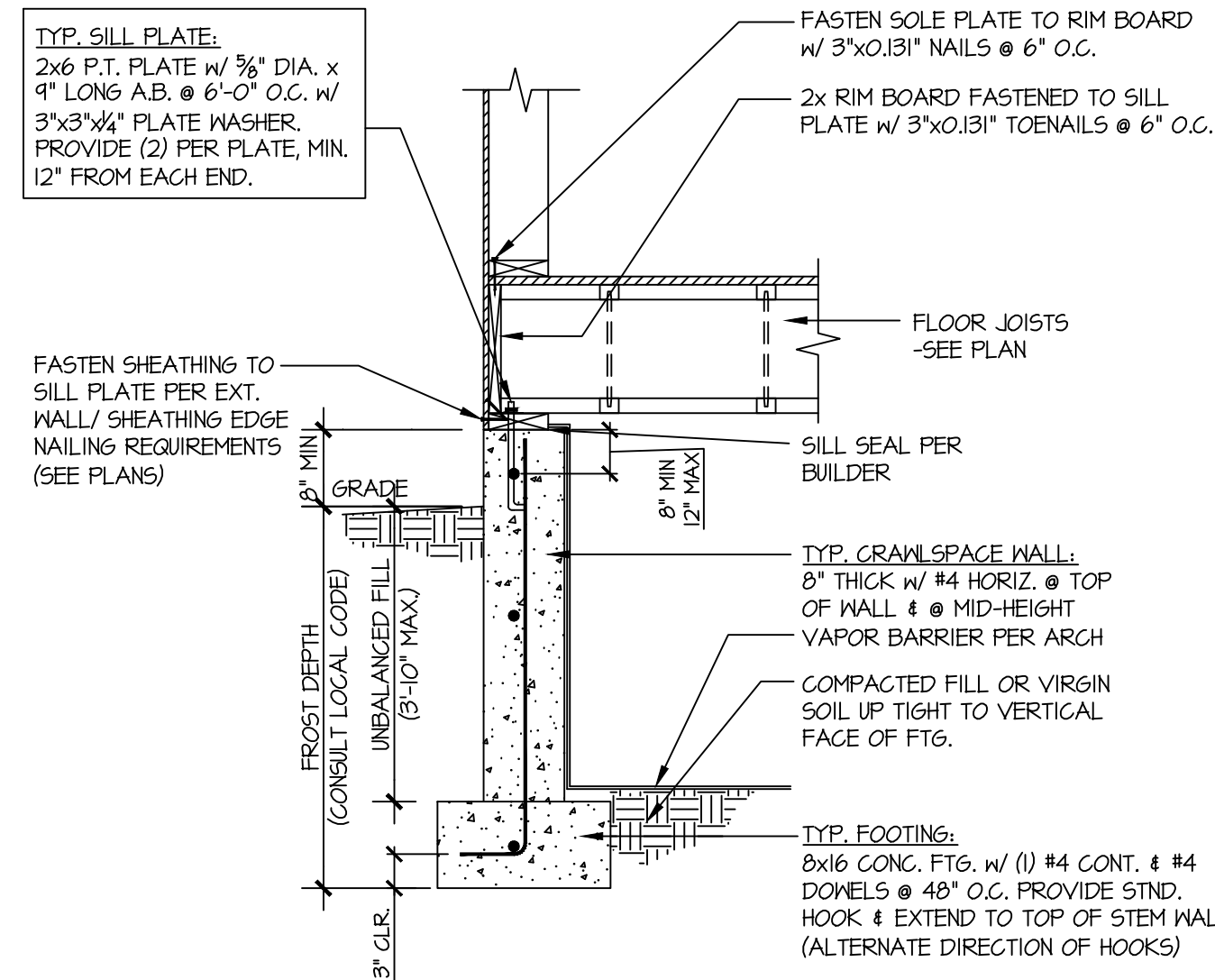
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project mgr: RJZ
drawn by: NJD
issue date: 12-21-21
REVISIONS:
date: initial:



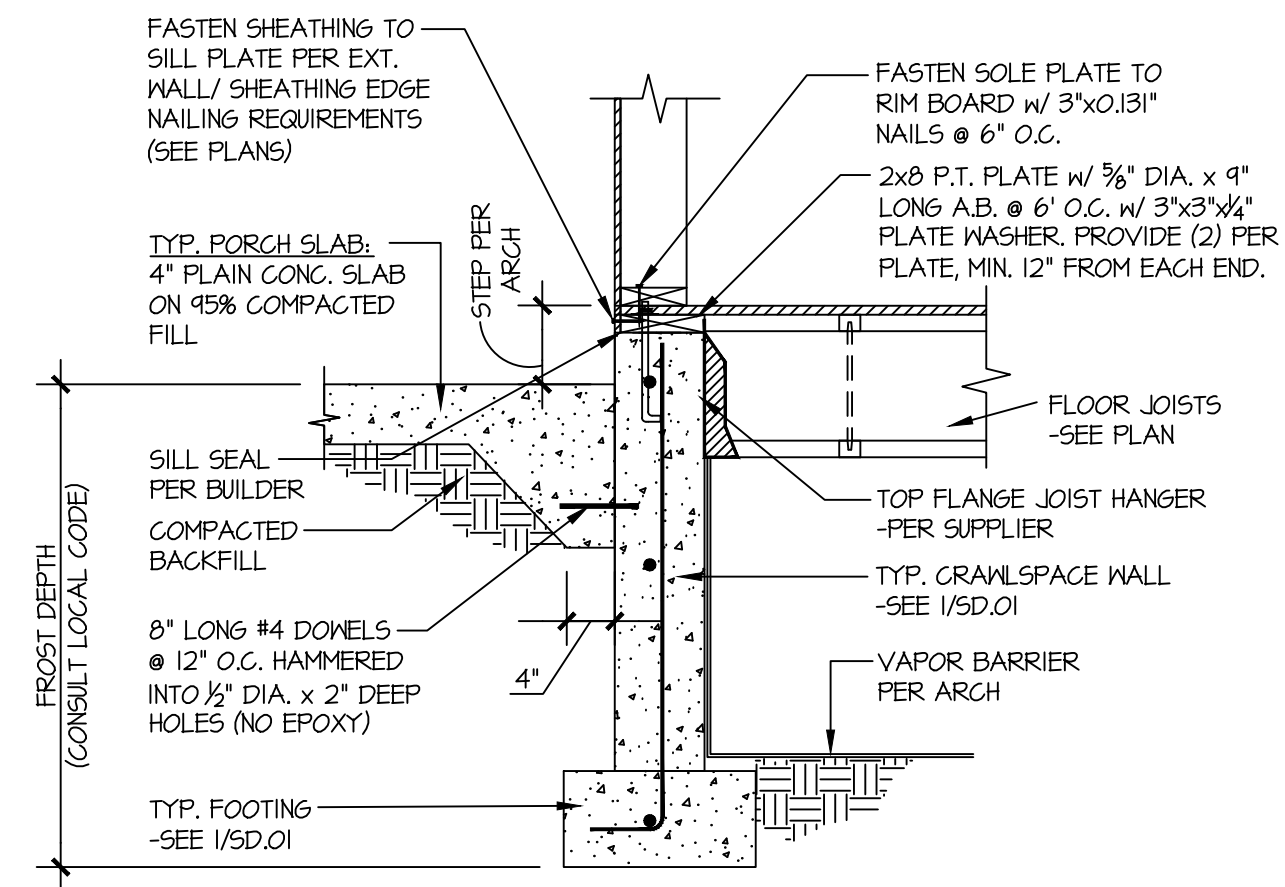
LATERAL BRACING DETAILS

4533 90TH AVE. SW
MERCER ISLAND, WASHINGTON

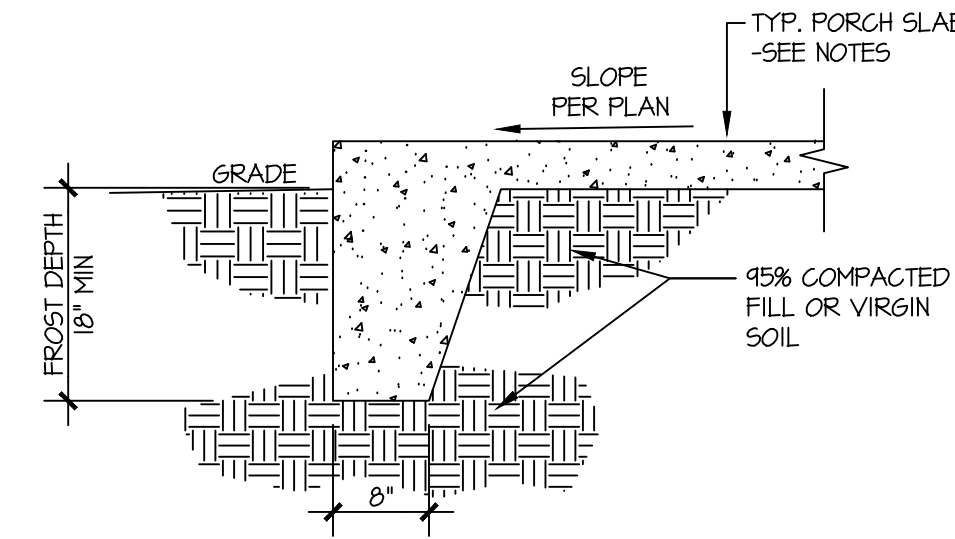
sheet:
LB-3



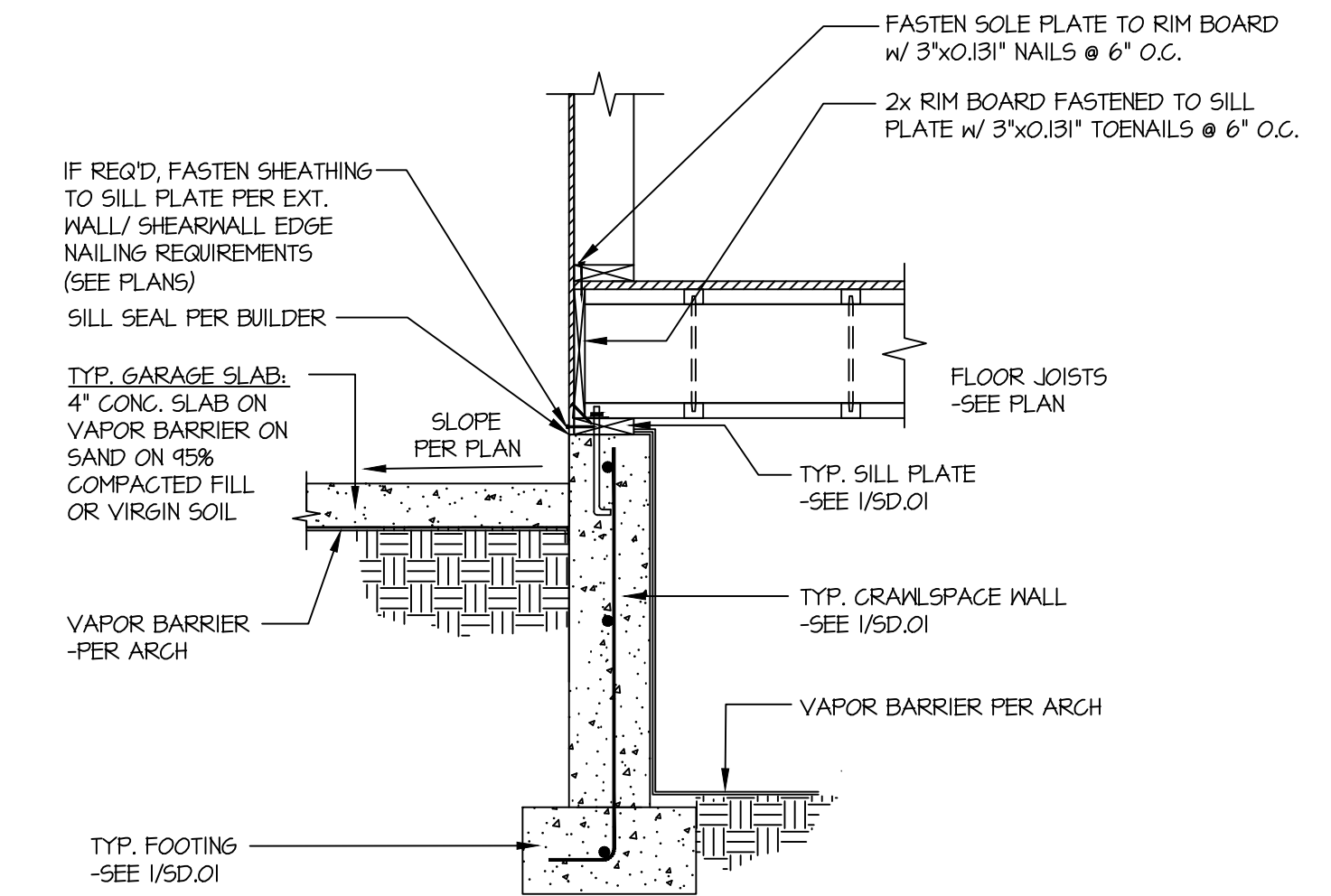
1 TYPICAL CRAWLSPACE FOUNDATION
SCALE: 3/4"=1'-0"



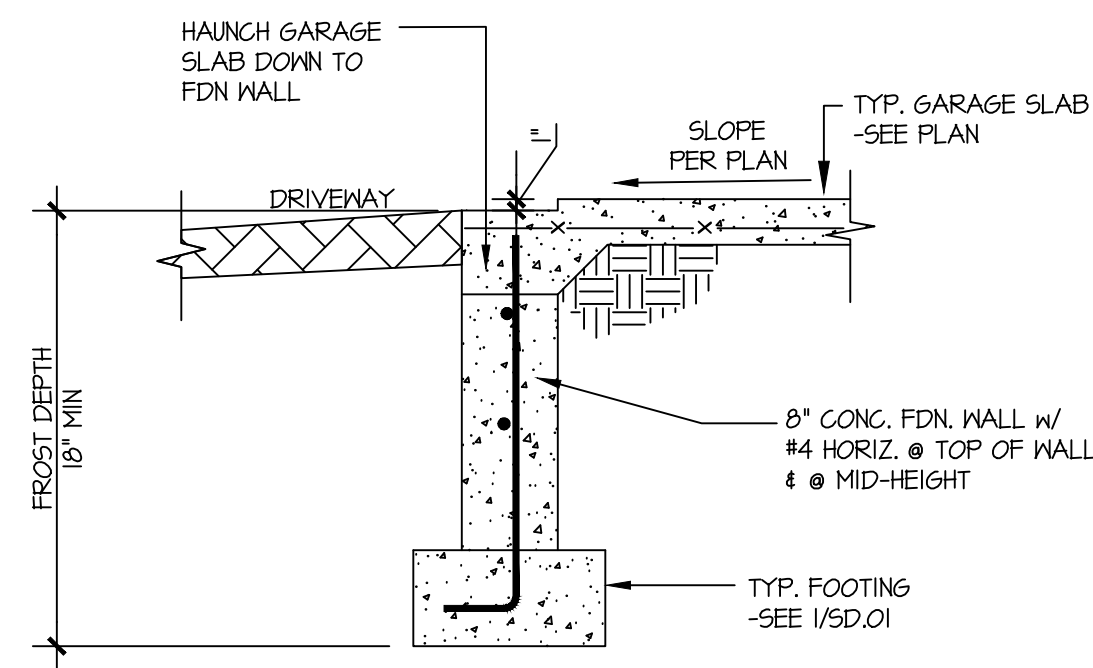
2 TYPICAL CRAWLSPACE FOUNDATION @ PORCH SLAB
SCALE: 3/4"=1'-0"



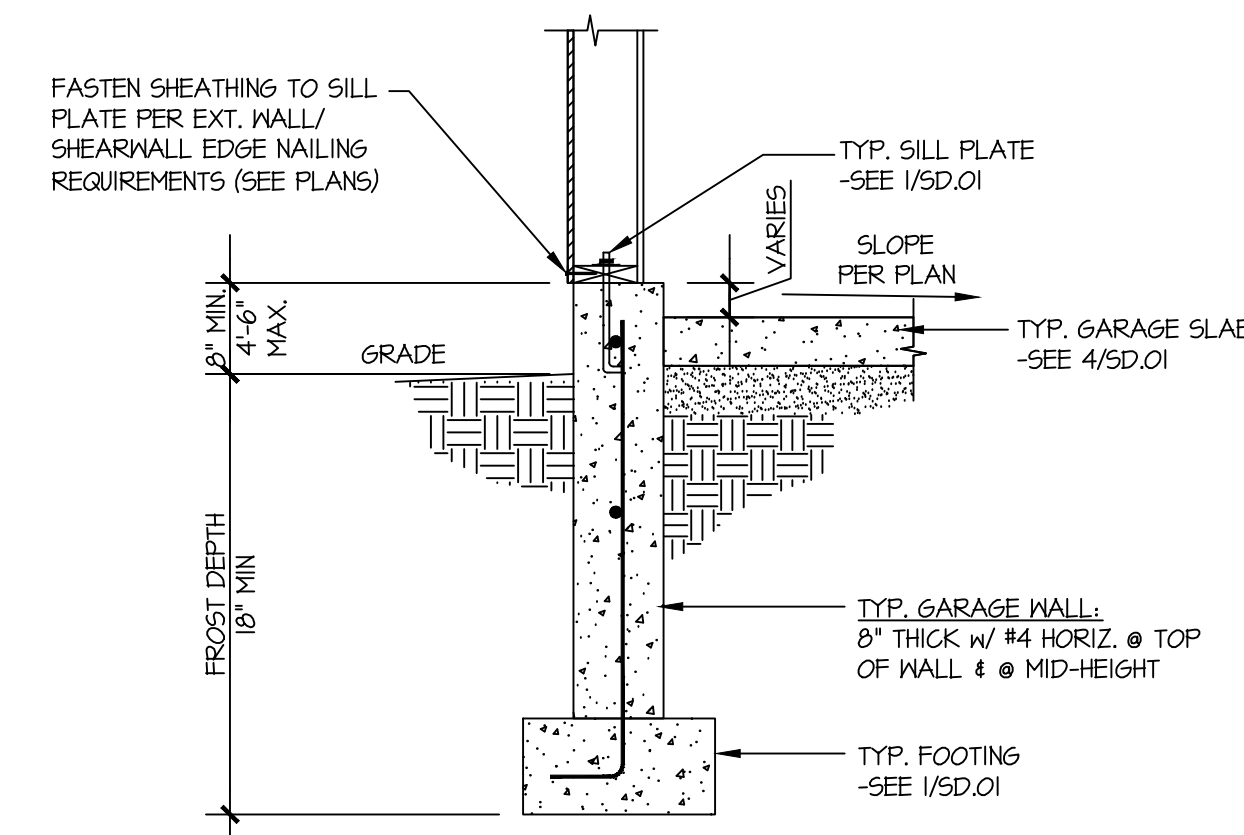
3 TYPICAL FOOTING @ PORCH SLAB
SCALE: 3/4"=1'-0"



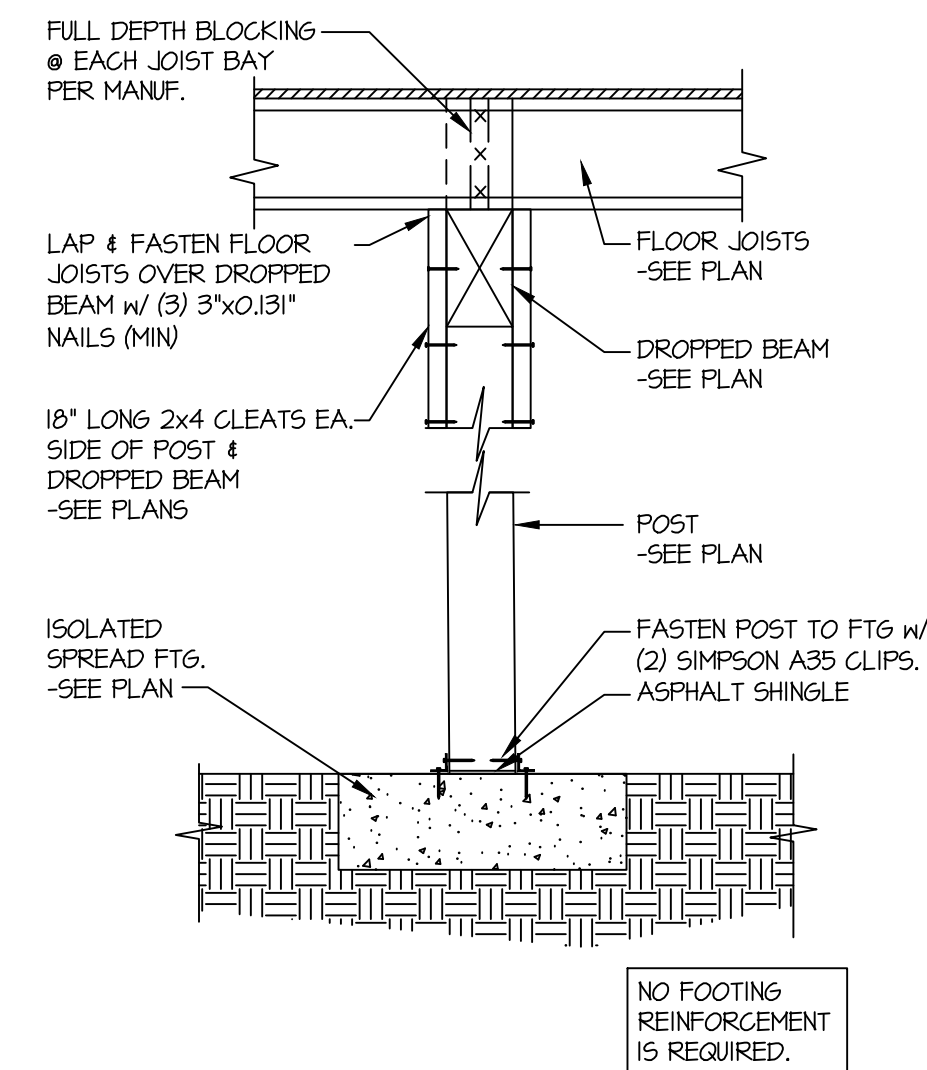
4 TYPICAL CRAWLSPACE FOUNDATION @ GARAGE
SCALE: 3/4"=1'-0"



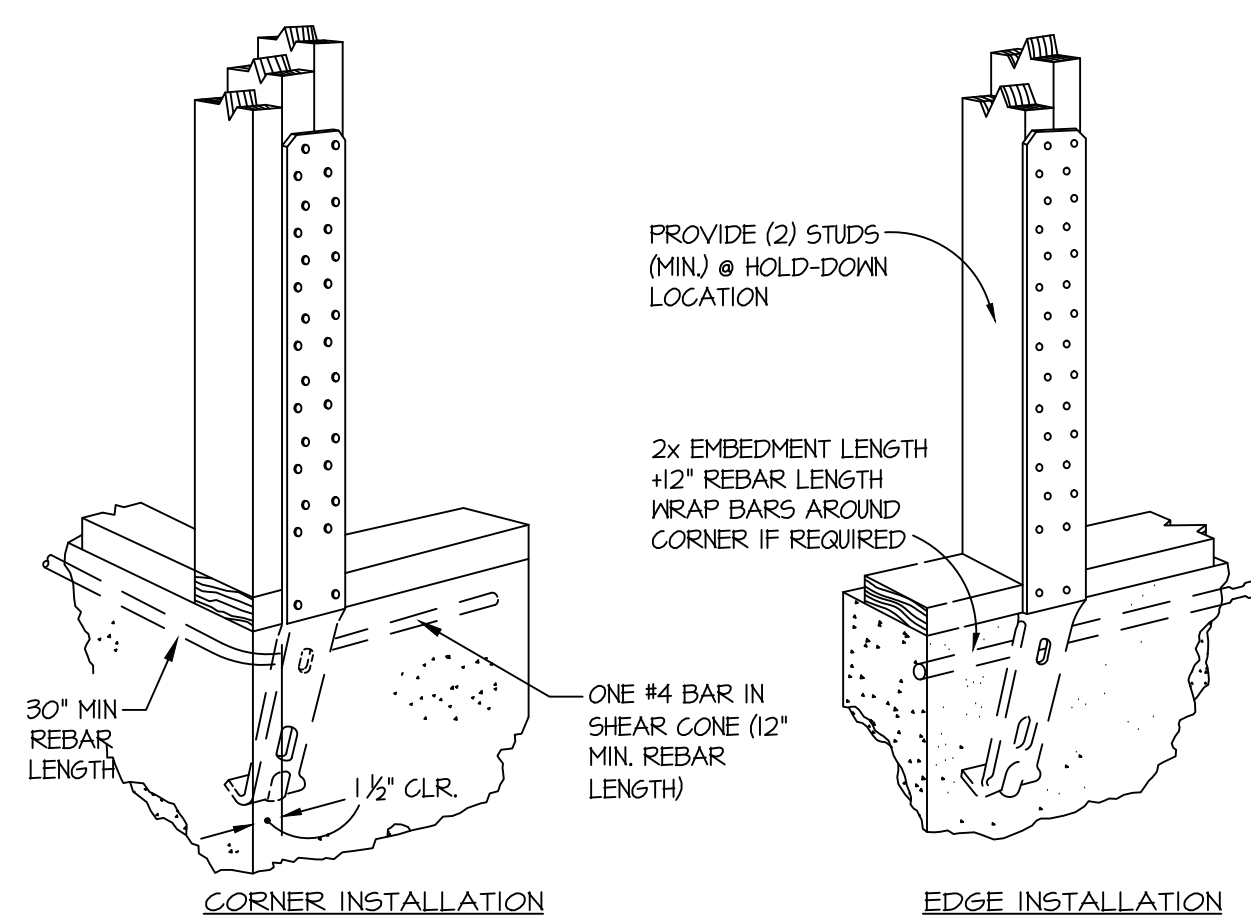
5 TYPICAL CONCRETE FOOTING @ GARAGE DOOR OPENING
SCALE: 3/4"=1'-0"



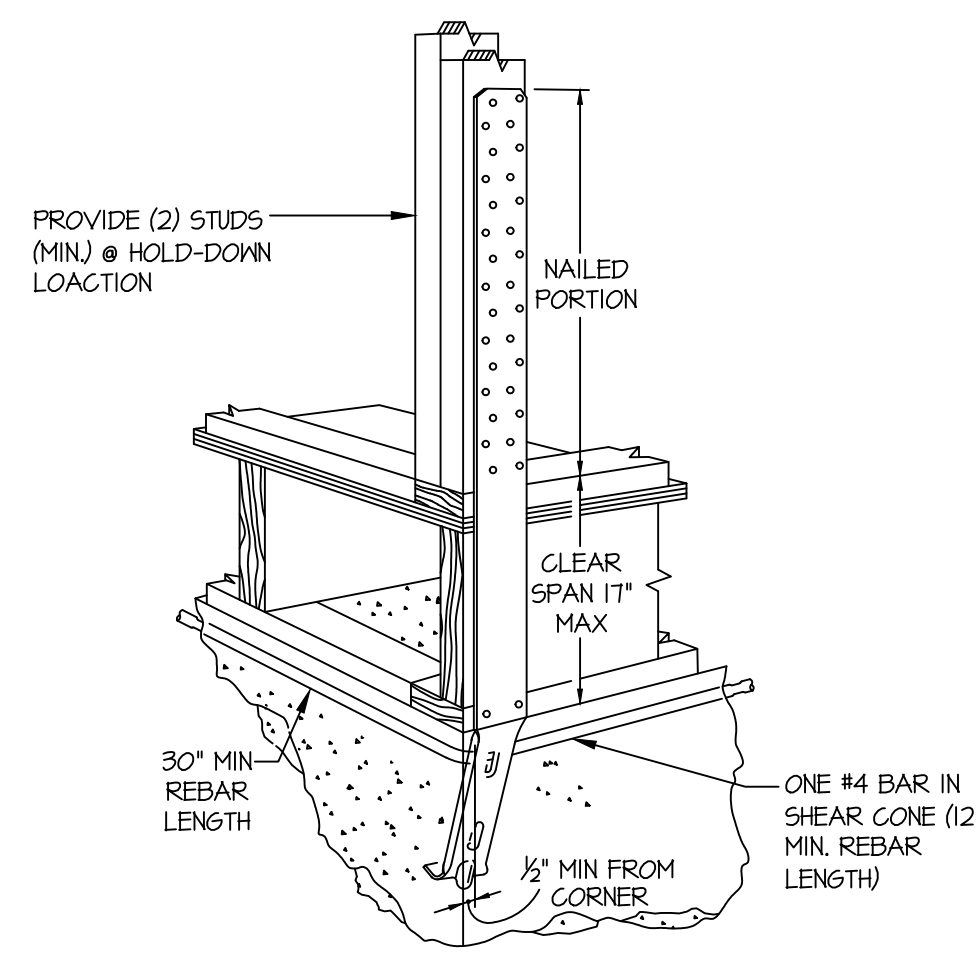
6 TYPICAL EXT. GARAGE FOUNDATION
SCALE: 3/4"=1'-0"



7 TYPICAL CRAWL SPACE FOOTING DETAIL
SCALE: 3/4"=1'-0"



A TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE



B TYPICAL HOLD-DOWN INSTALLATION
NOT TO SCALE



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M&K project number: 154-21035

project mgr: RJZ

drawn by: NJD

issue date: 12-21-21

REVISIONS:

date: initial:



FOUNDATION DETAILS

4533 90TH AVE. SW

MERCER ISLAND, WASHINGTON

sheet: SD.01



Vertical wall Installation

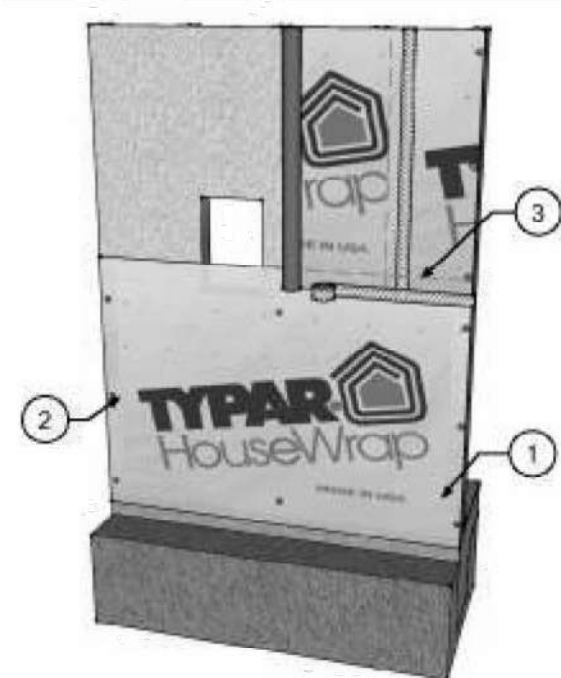
Install TYPAR® HouseWrap over an approved exterior sheathing after the framing is complete and before the windows and doors have been installed. Plastic capped fasteners should be used and spaced at 32" OC (vertically and horizontally) when being applied over 7/16" OSB or 15/32" plywood. When installing over metal framing use screws with washers. If the windows and doors have already been installed, trim the TYPAR WRB close to the window frame and flash according to the TYPAR Flashing instructions.

STEP 1

Start at the bottom of one end of the wall with the printed side facing out. When starting at a corner, overlap by a minimum of 12".

Place the housewrap roll horizontally and roll out the first course evenly, covering rough window and door openings. A minimum of a 1" (25.4 mm) overlap on the sill plate is required; however, for maximum protection, a 2-4" (51-102 mm) overlap on the sill plate is recommended.

Pull the TYPAR snug and avoid wrinkles and creases. Ensure that the product is level.



STEP 2

Fasten the TYPAR to the stud using plastic capped nails or plastic capped staples at 32" O.C. both horizontally and vertically.



STEP 3

The upper layer of TYPAR housewrap should overlap the bottom layer by a minimum of 6" (152 mm) vertically and horizontally. Ensure proper shingling throughout the installation to properly shed water. Once the structure is completely covered, tape all seams and penetrations using TYPAR® construction tape. (Please refer to the TYPAR® flashing instructions for more detailed instruction on penetrations and window flashing installation).

STEP 4

After the installation complete and before the exterior cladding is installed, inspect the TYPAR® for tears. Repair the issues with TYPAR Construction tape or TYPAR Flashing.



Window and Door Preparation

Preparing for Window Installation

STEP 1

After wrapping the structure and covering all rough openings. Cut a horizontal line across the top of the window opening. The cut should not extend past the rough opening.

STEP 2

Start at the top center and make a vertical cut running two-thirds of the way down the opening.

STEP 3

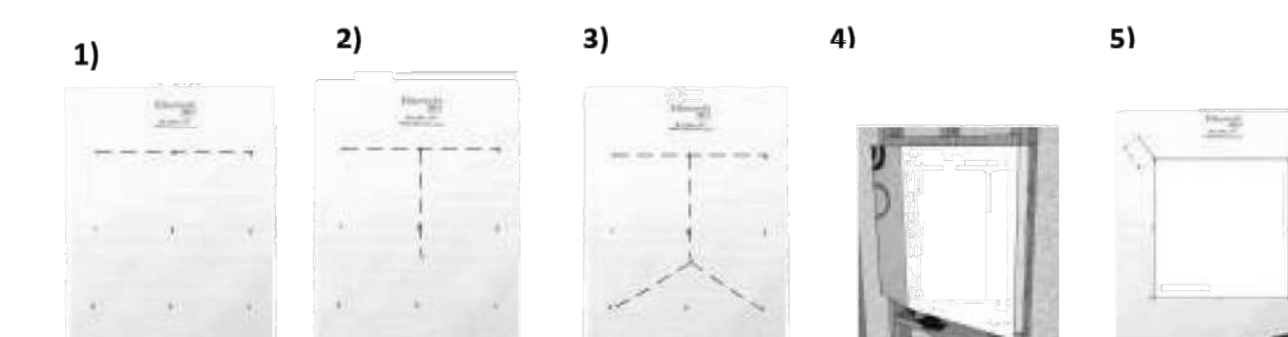
From that stopping point, cut diagonally to both lower left and right corners of the opening.

STEP 4

Pull each of the flaps tightly inside the rough opening and attach them to the frame with nails, staples, or tape.

STEP 5

At the window header, make a 6" diagonal cut at a 45 degree angle on both corners. Fold the material up exposing the sheathing. Now install the window or door according to the manufacturer instructions. The final step is to flash all seams and flanges securely (refer to TYPAR® Flashing instructions). TYPAR® flashing should also be installed in accordance with window manufacturer instructions and according to the ASTM 2112 standard.



Typical Window Flashing

STEP 1

Install the window sill pan according to the manufacturer's instructions. Alternatively, you can create a sill pan using TYPAR Flashing Flex. Cut a piece that is 12" longer than the length of the rough opening window sill.

Carefully pull off the release liner. Center the Flashing in the center of the rough opening and work your way toward the corners and then up the sides. Note: the flex flashing should overlap to the outside of the wall by 2-3". Only stretch the flashing in the corners.

Alternatively to above, you can create a sill pan by installing TYPAR Straight Flashing along the bottom sill and installing TYPAR Flashing Flex on the corners only.

If needed, secure the fanned edges of the TYPAR Flashing Flex with a plastic capped nail/ plastic capped staple.

STEP 2

Apply a continuous bead of sealant to the back of the window or on the wall. Do not apply the sealant across the bottom of the sill or on the bottom of the window. This area is left open to allow for proper drainage.

Install the window according to the manufacturer's installation instructions.

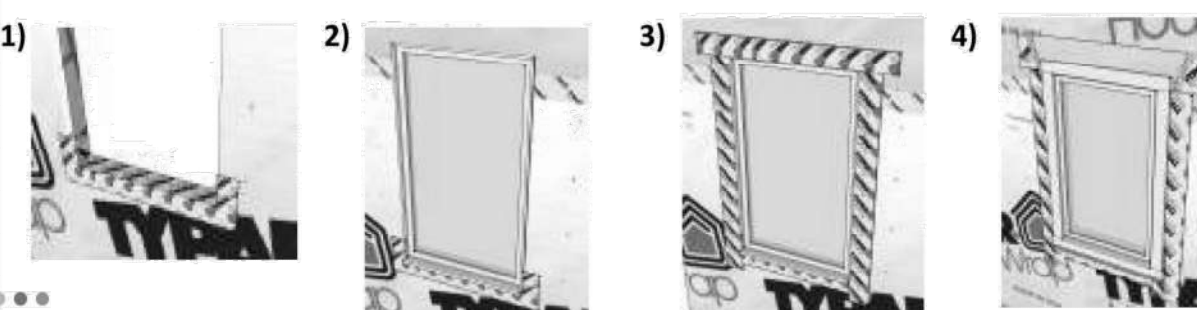
STEP 3

Cut two pieces of TYPAR Flashing long enough to extend 1" above the window head flange and 1" below the window sill flange. Carefully peel off the release liner and apply the flashing on both sides of the window. Make sure to cover the entire window flange, press firmly either by hand or using a J-roller. Ensure there are no wrinkles or bubbles.

Cut a piece of TYPAR Flashing for the head flashing. Ensure that the piece is long enough to extend by 1" on both sides of the jamb flashing. Remove the release liner and carefully install the flashing. Cover the window flange and press firmly by hand or using a J-roller.

STEP 4

Release the upper flap of the WRB that you cut earlier. Tape the 45 degree cuts using TYPAR Construction Tape or TYPAR Flashing. DO NOT tape the WRB along the top of the window flange.



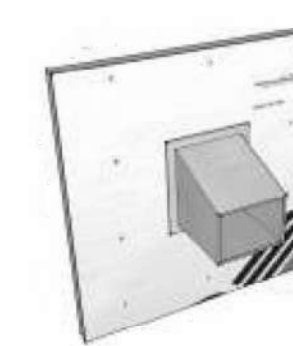
Flashing Penetrations

Penetrations such as exhaust fans, exterior electrical outlets, dryer vents, exterior lights, and gas outlets are a common entrance for bulk water into the wall cavity. Using TYPAR flashing will ensure proper water hold out and maintain the integrity of the structure.

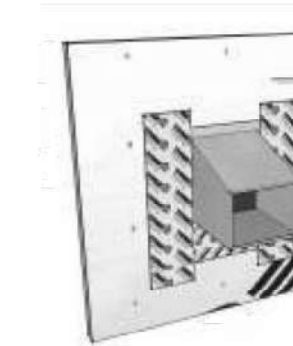
The method is similar to the flashing a window. Start by flashing the bottom of the penetration. Ensure to shingle the upper tape over the bottom tape.

Some penetrations have flanges, such as dryer vents. These penetrations should be flashed according to the details below.

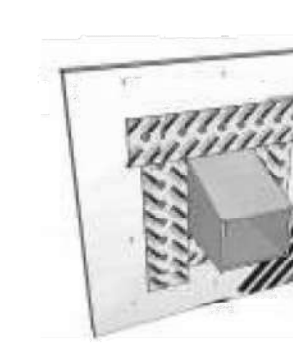
1)



2)



3)



STEP 1

Install the vent according to the manufacturer's recommendations. Trim the housewrap as close as possible around the perimeter of the vent.

STEP 2

Flash the vent using the same method as windows. Starting at the bottom flange; cut the flashing so that it extends past the flanges by 1" on both sides. Now apply the flashing to the sides of the vent. Remember to extend the flashing 1" on both top and bottom. Make sure to smooth out wrinkles and air bubbles. The use of a J-roller is optional.

STEP 3

The Final step is to install the flashing across the top. Extend the flashing out at least 1" on both sides.

Note: This type of installation is suitable for several different penetrations. Always use the shingling method and ensure a tight seal around the flange/penetration.

TYPAR® HouseWrap is part of a complete Weather Protection System, which also includes TYPAR® Metro Wrap, TYPAR® Flashings and Construction tape

For more information, visit www.Typar.com



MADE IN USA. ICC #ESR-1404 • CCMC #12884-R • CCMC #12892-R
Please visit typar.com for installation instructions and warranty information.



7525 SE 24th St., 487
Mercer Island, WA
98040
425.266.9100

Issue Description	Issue Date	By

Job Number:

plan name:	--
marketing name:	--
plan number:	--
mark sys. number:	--

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC), or those of the local municipality then the current standards and requirements of each respectively shall govern.

The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC.

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Submittal Date

Sheet Title/Description

Design Firm

Drawn by:

Checked by:

Primary Scale

D1 of .

Sheet Title/Description

Window, Skylight and Door Schedule. Project Information: NEW SFR, 4531 90th Ave SE, Mercer Island, WA. Contact Information: JayMarc Homes, 7525 SE 24th St., Mercer Island, WA, 98040. Table with columns: Component, Description, Ref., U-factor, Width (Qt, Feet, Height, Feet), Area, UA. Includes rows for Exempt Swinging Door, Exempt Glazed Fenestration, and Vertical Fenestration (Windows and doors).

Overhead Glazing (Skylights). Table with columns: Component, Description, Ref., U-factor, Width (Qt, Feet, Height, Feet), Area, UA. Includes rows for Overhead Glazing and a Total Sum of Fenestration Area and UA.

Simple Heating System Size: Washington State. This heating system sizing calculator is based on the Prescriptive Requirements of the 2018 Washington State Energy Code (WSEC) and ACCA Manuals J and S. Project Information: NEW SFR, 4531 90th Ave SE, Mercer Island, WA. Contact Information: JayMarc Homes, 7525 SE 24th St., Mercer Island, WA, 98040. Heating System Type: Heat Pump. Design Temperature: 45. Area of Building: 4,280 sq ft. Average Ceiling Height: 9.0 ft. Glazing and Doors: U=0.28. Skylights: U=0.50. Insulation Attic: R=49. Single Rafter or Joist Vaulted Ceilings: No Vaulted Ceilings in this project. Above Grade Walls: R-21 Intermediate. Floors: R=38. Below Grade Walls: No Below Grade Walls in this project. Slab Below Grade: No Slab Below Grade in this project. Slab on Grade: No Slab on Grade in this project. Location of Ducts: Conditioned Space. Duct Leakage Coefficient: 1.00. Sum of UA: 595.44. Envelope Heat Load: 26,795 Btu / Hour. Air Leakage Heat Load: 18,721 Btu / Hour. Building Design Heat Load: 45,516 Btu / Hour. Building and Duct Heat Load: 45,516 Btu / Hour. Maximum Heat Equipment Output: 56,894 Btu / Hour.

PROVIDE HEATING AND COOLING DESIGN LOADS CALCULATION FOR SIZING THE HVAC SYSTEM PER WSEC-R403.1

PER WSEC R402.4, THE BUILDING THERMAL ENVELOPE SHALL BE CONSTRUCTED TO LIMIT AIR LEAKAGE. THE RESULTS OF THE TEST SHALL BE SIGNED BY THE PARTY CONDUCTING THE TEST AND PROVIDED TO THE CODE OFFICIAL (R402.4.1.2).

PER WSEC R403.3.3, DUCTS, AIR HANDLERS, AND FILTER BOXES SHALL BE SEALED AND BE LEAK TESTED.

PER WSEC R404.1, A MINIMUM OF 90 PERCENT OF THE LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH EFFICIENCY LAMPS.

PROVIDE CERTIFICATE REPORT PER R405.4.2 IN 2018 WSEC.



Issue Issue Date By Description. 01.20.22 S.K. REVISIONS. 06.03.22 CITY PLAN REVIEW COMMENTS.

4533 90th Ave SE, Mercer Island, WA. Job Number:

plan name: marking name: XXXXXX plan number: mark sys. number:-

Conditions not specifically represented graphically or in writing or which conflict with the current International Residential Code (IRC) or those of the local municipality then the current standards and requirements of each respectively shall govern. The drawings in this set are instruments of service and shall remain the property of JayMarc Homes, LLC. © 2017 JayMarc Homes, LLC; All rights reserved.

01.21.22 Submittal Date

Sheet Title/Description: JAYMARC HOMES Design Firm

R.R. Drawn by: R.R./S.K. Checked by:

Primary Scale

EN1 of .

2018 Washington State Energy Code - Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family - New & Additions (effective February 1, 2021) Version 1.0. These requirements apply to all IRC building types, including detached one- and two-family dwellings and multiple single-family dwellings (townhouses). Project Information: 4531 90th Ave SE, Mercer Island, WA. Contact Information: Ryan Redman - JayMarc Homes - 214.663.7599. Instructions: This single-family project will use the requirements of the Prescriptive Path below and incorporate the minimum values listed. Provide all information from the following tables as building permit drawings: Table R402.1 - Insulation and Fenestration Requirements by Component, Table R406.2 - Fuel Normalization Credits and 406.3 - Energy Credits. Authorized Representative: Ryan Redman. Date: 01/18/2022. All Climate Zones (Table R402.1.1) table with R-Value, U-Factor, and SHGC values for Fenestration, Skylight, Glazed Fenestration, Ceiling, Wood Frame Wall, Floor, Below Grade Wall, and Slab. Instructions a-h regarding R-values and insulation requirements.

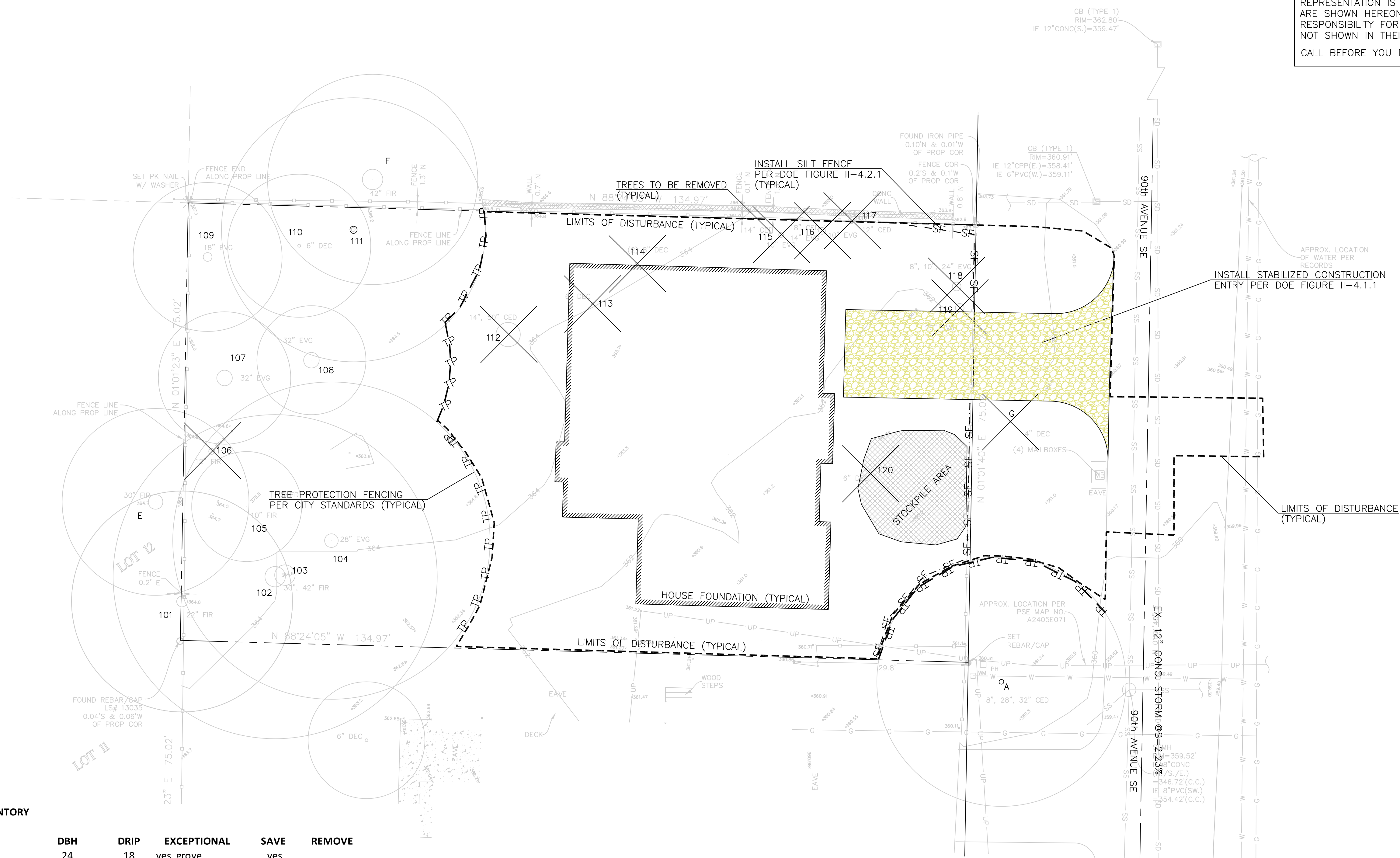
2018 Washington State Energy Code - Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family - New & Additions (effective February 1, 2021). Each dwelling unit in a residential building shall comply with sufficient options from Table R406.2 (fuel normalization credits) and Table 406.3 (energy credits) to achieve the following minimum number of credits. 1. Small Dwelling Unit: 3 credits. 2. Medium Dwelling Unit: 6 credits. 3. Large Dwelling Unit: 7 credits. 4. Additions less than 500 square feet: 1.5 credits. Before selecting your credits on this Summary table, review the details in Table 406.3 (Single Family), on page 4. Summary of Table R406.2 table with Heating Options, Fuel Normalization Descriptions, Credits, and User Notes. Energy Options table with Energy Credit Option Descriptions, Credits, and User Notes.

2018 Washington State Energy Code - Residential Prescriptive Energy Code Compliance for All Climate Zones in Washington Single Family - New & Additions (effective February 1, 2021). Summary of Table R406.2 (cont.) table with Energy Options, Energy Credit Option Descriptions (cont.), Credits - select ONE energy option from each category, and User Notes. Instructions a-f regarding alternative heating source, equipment, and options. Please print only pages 1 through 3 of this worksheet for submission to your building official.

Sheet Title/Description

NE 1/4 OF THE SW 1/4 OF SECTION 18, TOWNSHIP 24 NORTH., RANGE 5 EAST, W.M., KING COUNTY, WA.

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811



45XX TREE INVENTORY

Tree ID	species	DBH	DRIP	EXCEPTIONAL	SAVE	REMOVE
101	Doug Fir	24	18	yes, grove	yes	
102	Doug Fir	36.5	14	yes, grove	yes	
103	Doug Fir	40	26	yes, grove	yes	
104	Doug Fir	30.5	26	yes, grove	yes	
105	Doug Fir	11	9	yes, grove	yes	
108	Doug Fir	20	8	yes, grove	yes	
111	Doug Fir	33	22	yes, grove	yes	
112	Western red cedar	50	28	yes, grove		yes
113	Bitter Cherry	6	12			yes
114	Bitter Cherry	10	14	yes, grove	yes	
115	Western red cedar	13	17			yes
116	Western red cedar	18	17			yes
117	Western red cedar	15	17			yes
118	Western red cedar	28.8	15			yes
119	Western red cedar	21	19			yes
TOTALS		15			8	7

NON REGULATED TREES

106	Doug Fir	14	9	yes, grove		yes	Dying Tree
109	Bitter Cherry	4	12	Small Tree	yes		
110	Bitter Cherry	8	12	Small Tree	yes		
120	Orchard Apple	4	5	Small Tree		yes	

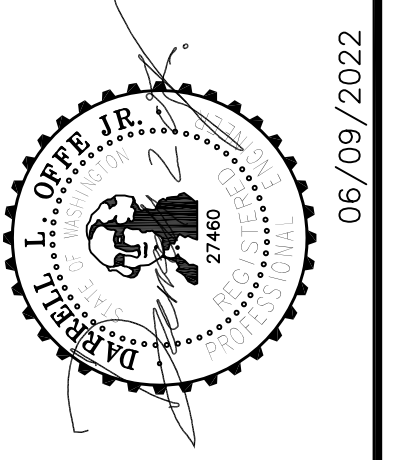
OFFSITE TREES

A	Western red cedar	41.6	20	Yes	Yes		
E	Doug Fir	30		yes, grove	yes		
F	Doug Fir	34		yes, grove	Yes		
G	Mountain Ash	6	7	Small tree		Yes	

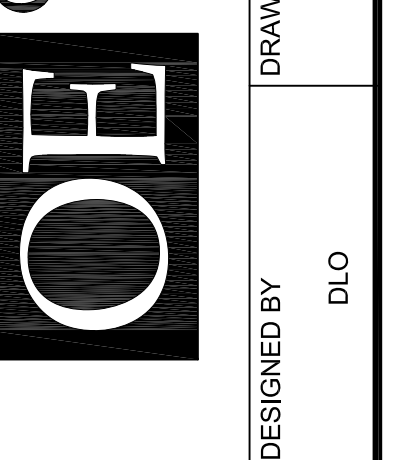


PERMIT #: 2202-071

REV. NO.	DATE	DESCRIPTION
1	06/08/22	REVISED PER CITY COMMENTS 2202-071-SUB1



OFFE ENGINEERS
13902 SOUTHEAST 159TH PLACE
RENTON, WASHINGTON 98058
PHONE: 425-260-3412
CONTACT: DARRELL OFFE, P.E.

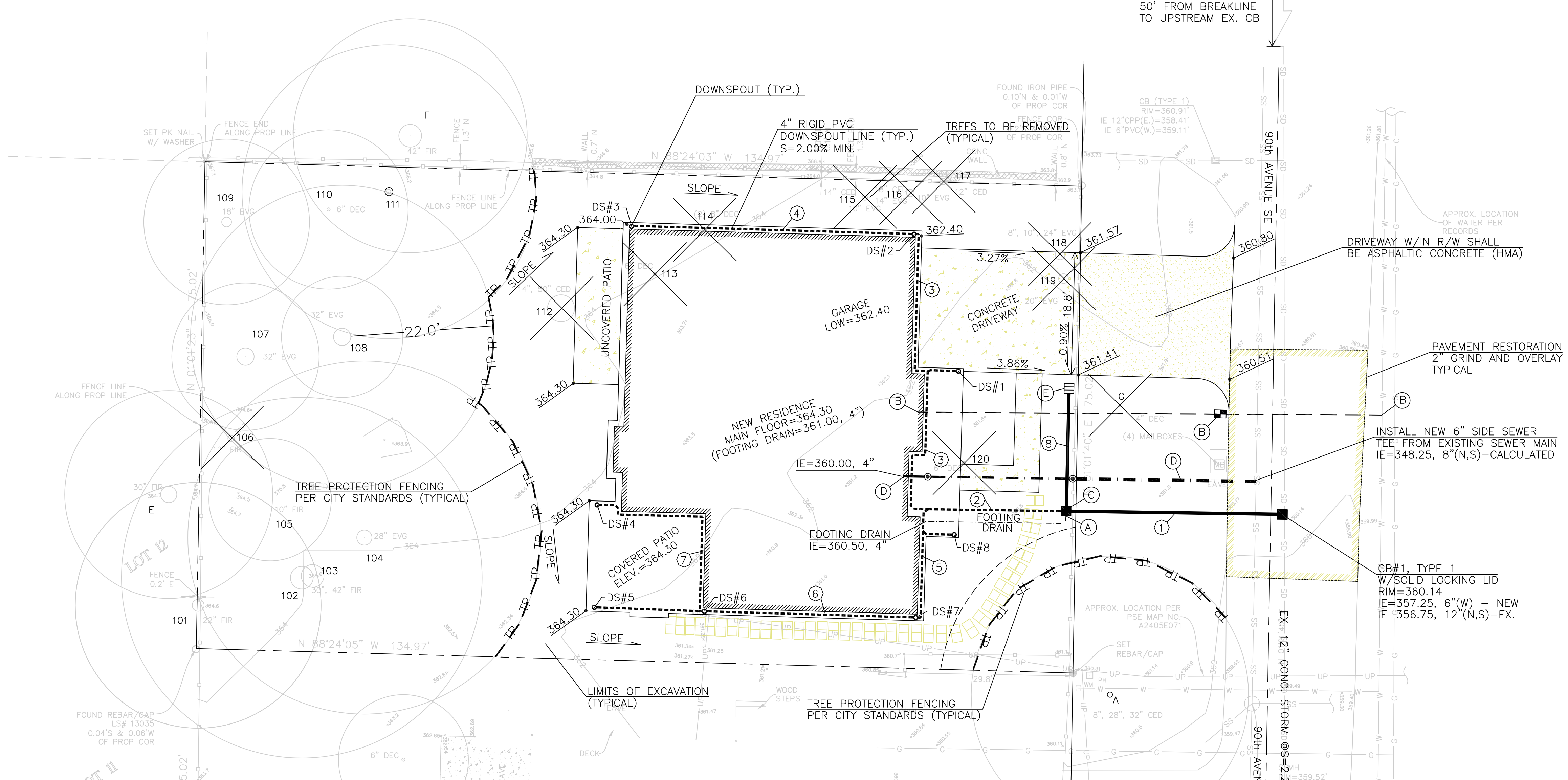


PROJECT: **4533 90th Avenue SE**
CLIENT: **Jay Mezistrano**
SHEET CONTENT: **Temp. Erosion & Sedimentation Control Plan**
DESIGNED BY: DLO
DRAWN BY: VS
CHECKED BY: DLO
DATE: 06/09/2022
JOB NO.:
DWG NO.:
1 OF 3

NE 1/4 OF THE SW 1/4 OF SECTION 18, TOWNSHIP 24 NORTH, RANGE 5 EAST, W.M., KING COUNTY, WA.

NOTE: THE LAWN AND LANDSCAPE AREAS ARE REQUIRED TO PROVIDE POST-CONSTRUCTION SOIL QUALITY AND DEPTH IN ACCORDANCE WITH BMP T5.13. THE PROJECT CIVIL ENGINEER MUST PROVIDE A LETTER OF CERTIFICATION TO ENSURE THAT THE LAWN AND LANDSCAPE AREAS ARE MEETING THE POST-CONSTRUCTION SOIL QUALITY AND DEPTH REQUIREMENTS SPECIFIED ON THE APPROVED PLAN SET PRIOR TO FINAL INSPECTION OF THE PROJECT.

EXISTING UTILITY LOCATIONS SHOWN HEREON ARE APPROXIMATE ONLY. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THE EXACT VERTICAL AND HORIZONTAL LOCATION OF ALL EXISTING UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION. NO REPRESENTATION IS MADE THAT ALL EXISTING UTILITIES ARE SHOWN HEREON. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR UTILITIES NOT SHOWN OR UTILITIES NOT SHOWN IN THEIR PROPER LOCATION.
CALL BEFORE YOU DIG: 811



45XX TREE INVENTORY

Tree ID	species	DBH	DRIP	EXCEPTIONAL	SAVE	REMOVE
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102	Doug Fir	36.5	14	yes, grove	yes	
103	Doug Fir	40	26	yes, grove	yes	
104	Doug Fir	30.5	26	yes, grove	yes	
105	Doug Fir	11	9	yes, grove	yes	
108	Doug Fir	20	8	yes, grove	yes	
111	Doug Fir	33	22	yes, grove	yes	
112	Western red cedar	50	28	yes, grove		yes
113	Bitter Cherry	6	12			yes
114	Bitter Cherry	10	14	yes, grove	yes	
115	Western red cedar	13	17			yes
116	Western red cedar	18	17			yes
117	Western red cedar	15	17			yes
118	Western red cedar	28.8	15			yes
119	Western red cedar	21	19			yes
TOTALS		15			8	7

NON REGULATED TREES

106	Doug Fir	14	9	yes, grove		yes	Dying Tree
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OFFSITE TREES

A	Western red cedar	41.6	20	Yes	Yes		
E	Doug Fir	30		yes, grove	yes		
F	Doug Fir	34		yes, grove	Yes		
G	Mountain Ash	6	7	Small tree		Yes	

NOTES:

- (A) FOOTING DRAIN CONNECTION, IE=359.00, 4"
- (B) INSTALL NEW WATER METER & SERVICE
NOTE: CONTRACTOR TO COORDINATE FINAL LOCATION OF NEW METER WITH CITY OF MERCER ISLAND INSPECTOR AT TIME OF CONSTRUCTION
- (C) CB#2, TYPE 1
W/SOLID LOCKING LID
RIM=361.00
IE=358.50, 4"(W)-DOWNSPOUTS
IE=359.00, 4"(S)-FOOTING DRAIN
IE=358.25, 6"(E,N)
- (D) 54LF., NEW SIDE SEWER
- (E) CB#3, TYPE 1
W/OIL WATER SEPARATOR
GRATE=361.35
OVERFLOW=361.10, 6"
IE=358.85, 6"(S)
BOTTOM OF TEE=358.35, 6"

STORM PIPE TABLE

①	33LF., 6" PVC SDR-35 @ S=3.00%
②	21LF., 4" PVC SDR-35 @ S=6.29%
③	49LF., 4" PVC SDR-35 @ S=2.00%
④	43LF., 4" PVC SDR-35 @ S=3.72%
⑤	18LF., 4" PVC SDR-35 @ S=7.50%
⑥	32LF., 4" PVC SDR-35 @ S=3.38%
⑦	32LF., 4" PVC SDR-35 @ S=2.00%
⑧	19LF., 6" PVC SDR-35 @ S=3.42%

DOWNSPOUT TABLE

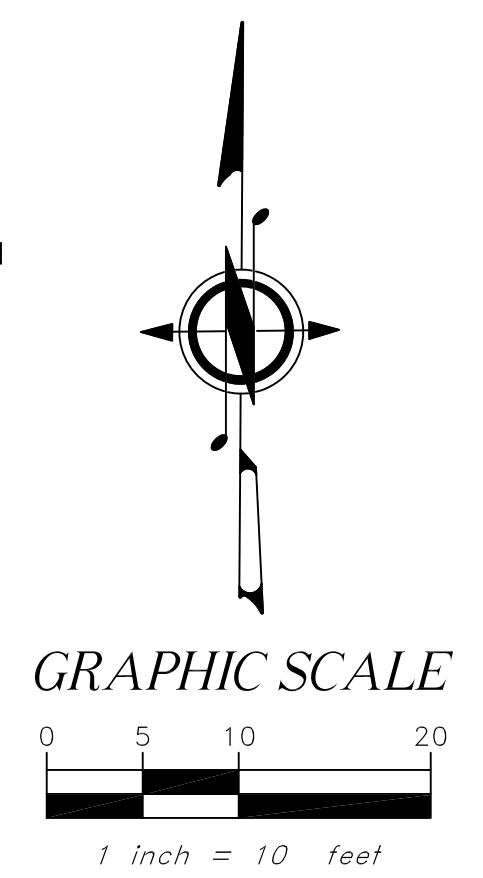
DS#1	CONCRETE=364.30 DOWNSPOUT LINE=363.00, 4"
DS#2	GROUND=362.40 DOWNSPOUT LINE=360.80, 4"
DS#3	GROUND=364.00 DOWNSPOUT LINE=362.40, 4"
DS#4	CONCRETE=364.30 DOWNSPOUT LINE=362.90, 4"
DS#5	CONCRETE=364.30 DOWNSPOUT LINE=362.90, 4"
DS#6	CONCRETE=364.30 DOWNSPOUT LINE=362.25, 4"
DS#7	GROUND=362.50 DOWNSPOUT LINE=361.17, 4"
DS#8	CONCRETE=364.30 DOWNSPOUT LINE=362.95, 4"

NOTE: 4" PERFORATED FOOTING DRAIN REQUIRED BUT NOT SHOWN ON PLAN, CONNECT WHERE SHOWN ON PLAN

STORM PIPE PVC SHALL BE SDR-35 PVC AT SLOPE=2.00% MINIMUM (TYPICAL) UNLESS OTHERWISE NOTED

IMPERVIOUS SURFACES:
ROOF AREA (UNDER EAVES) = 3,051 SQ. FEET
UNCOVERED DRIVEWAY AREA = 460 SQ. FEET
UNCOVERED PATIO = 168 SQ. FEET
TOTAL IMPERVIOUS AREAS = 3,679 SQ. FEET

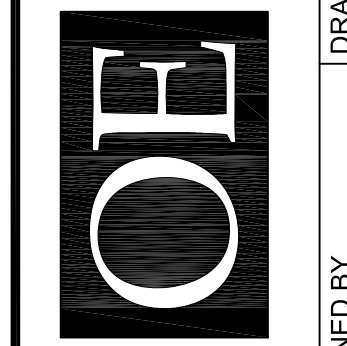
LANDSCAPE AREAS NOTE:
DISTURBED LANDSCAPE AREAS SHALL BE TREATED AS AMENDED SOILS PER DOE FIGURE V-5.3.3, TYPICAL



PROJECT	4533 90h Avenue SE
CLIENT	Jay Mezistrano
SHEET CONTENT	Utility & Tree Plan
DATE	06/10/2022
JOB NO.	
DWG NO.	2 OF 3
DESIGNED BY	DLO
DRAWN BY	VS
CHECKED BY	DLO
REVISED PER CITY COMMENTS	2022-07-1-SUB1
DATE	06/08/22
REV. NO.	1
DESCRIPTION	06/10/2022

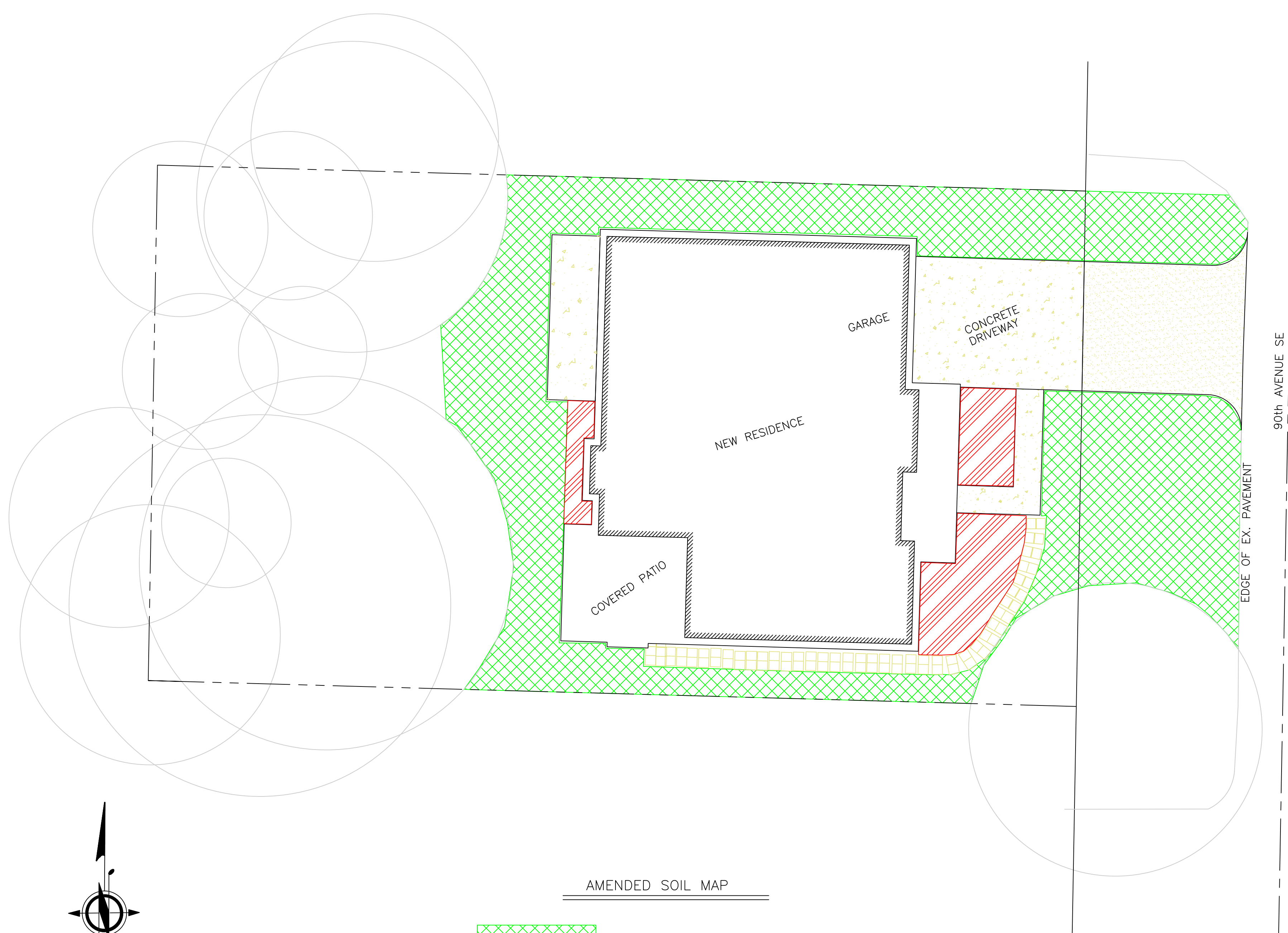


OFFE ENGINEERS
13902 SOUTHEAST 159TH PLACE
RENTON, WASHINGTON 98058
PHONE: 425-260-3412
CONTACT: DARRELL OFFE, P.E.

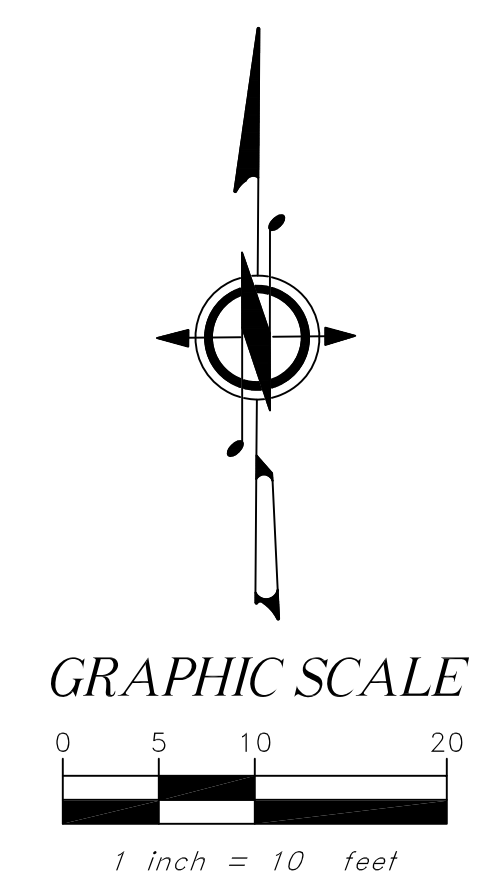


4533 90h Avenue SE
Jay Mezistrano
Utility & Tree Plan

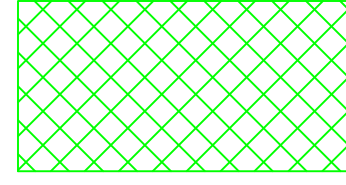
DATE 06/10/2022
JOB NO.
DWG NO. 2 OF 3
SHEET 3

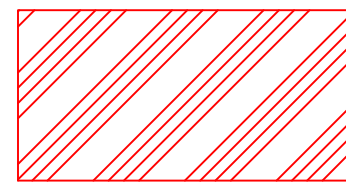


..\..\..\DETAILS\Mercer Island\perf connection 25.jpg



AMENDED SOIL MAP

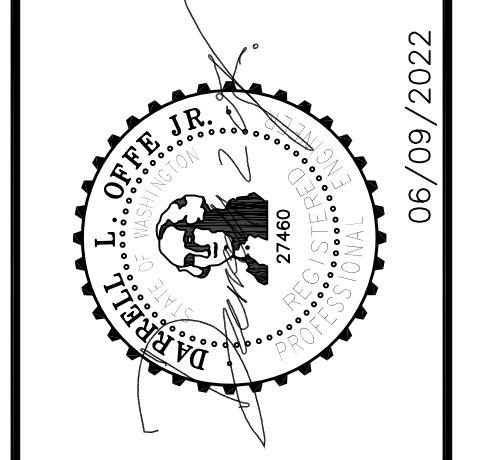
 2,800 SQUARE FEET – TURF AREA
AMENDED 12" DEEP

 384 SQUARE FEET – PLANTER AREA
AMENDED 8" DEEP

pH TO BE BETWEEN 6-10
ORGANIC MATTER W.B. TO BE 10% OR GREATER

..\..\..\DETAILS\DOE\Soil Amendment.jpg

REV. NO.	DATE	DESCRIPTION



OFFE ENGINEERS
 13902 SOUTHEAST 159TH PLACE
 RENTON, WASHINGTON 98058
 PHONE: 425-260-3412
 CONTACT: DARRELL OFFE, P.E.

OE

DESIGNED BY: DLO
 DRAWN BY: VS
 CHECKED BY: DLO

PROJECT 4533 90h Avenue SE
CLIENT Jay Mezistrano
SHEET CONTENT Amended Soil Map/Utility Details

DATE 06/09/2022
JOB NO. _____
DWG NO. _____

3 SHEET **3**
 OF

TOPOGRAPHIC & BOUNDARY SURVEY

measure success

LEGAL DESCRIPTION

FOR PARCEL# 0191100190
 (PER PERSONAL REPRESENTATIVE'S DEED RECORDING# 20200115000188)
 LOT 6, BLOCK 3, ALLVIEW HEIGHTS ADDITION TO SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON; TOGETHER WITH THE EAST VACATED ALLEY ADJOINING ON THE WEST, VACATED ON FEBRUARY 29 1960, IN VOLUME 64 OF COMMISSIONER'S RECORDS, PAGE 609.

FOR PARCEL# 0191100195
 (PER PERSONAL REPRESENTATIVE'S DEED RECORDING# 20200115000187)
 LOT 7, BLOCK 3, ALLVIEW HEIGHTS ADDITION TO SEATTLE, ACCORDING TO THE PLAT RECORDED IN VOLUME 16 OF PLATS, PAGE 20, IN KING COUNTY, WASHINGTON; TOGETHER WITH THE EAST VACATED ALLEY ADJOINING ON THE WEST, VACATED ON FEBRUARY 29 1960, IN VOLUME 64 OF COMMISSIONER'S RECORDS, PAGE 609.

BASIS OF BEARINGS

HELD N 01°01'40" E BETWEEN MONUMENTS FOUND ON THE CENTERLINE OF 90TH AVE SE PER GPS OBSERVATIONS, NAD83 WASHINGTON STATE PLANE, NORTH ZONE.

REFERENCES

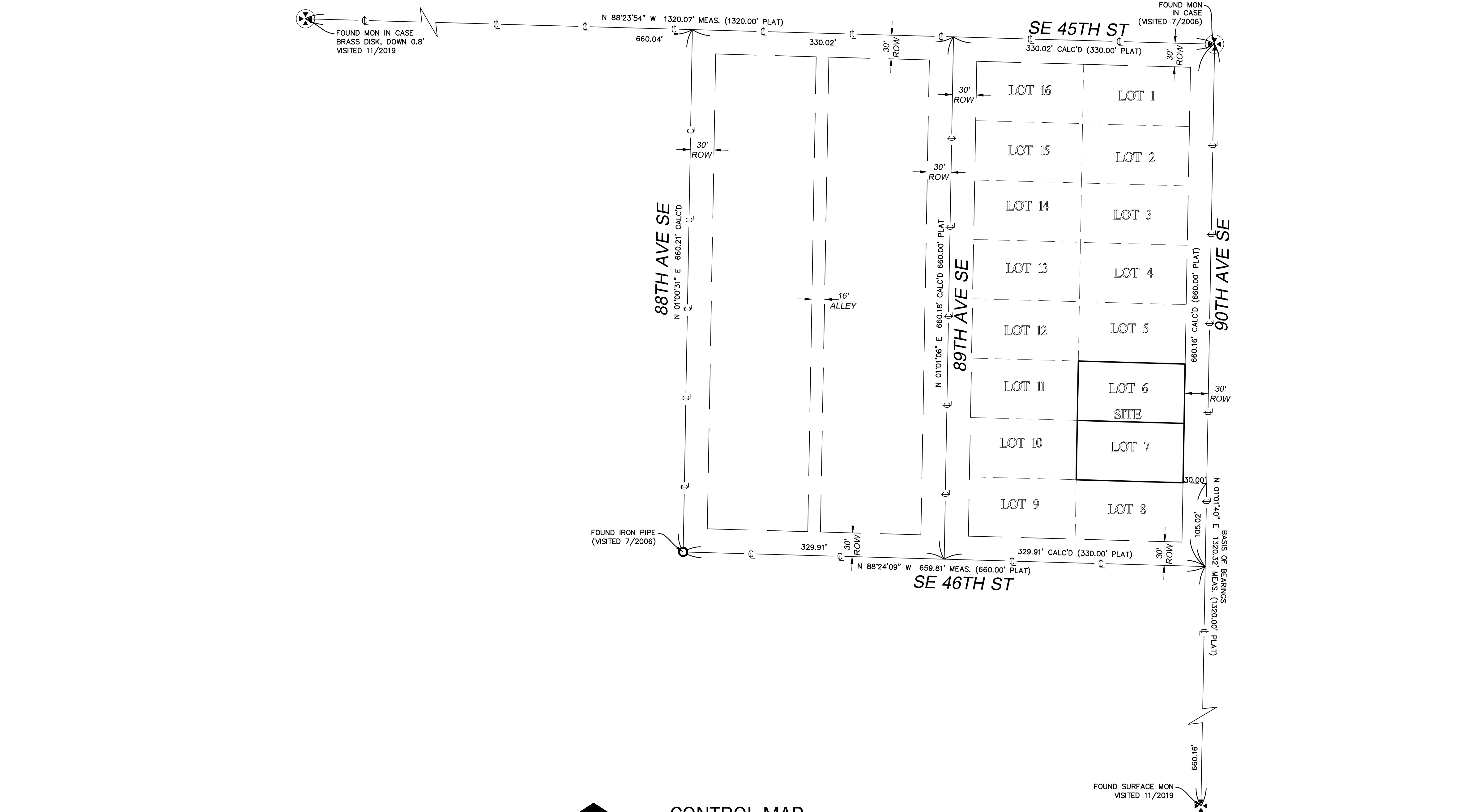
R1. PLAT OF ALLVIEW HEIGHTS ADDITION, VOL. 16, PG. 20, RECORDS OF KING COUNTY, WASHINGTON.

VERTICAL DATUM

NAVD88, PER GPS OBSERVATIONS.

SURVEYOR'S NOTES

1. THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN MAY OF 2021. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRONIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
2. ALL MONUMENTS SHOWN HEREON WERE LOCATED DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.
3. THE TYPES AND LOCATIONS OF ANY UTILITIES SHOWN ON THIS DRAWING ARE BASED ON INFORMATION PROVIDED TO US, BY OTHERS OR GENERAL INFORMATION READILY AVAILABLE IN THE PUBLIC DOMAIN INCLUDING, AS APPLICABLE, IDENTIFYING MARKINGS PLACED BY UTILITY LOCATE SERVICES AND OBSERVED BY TERRANE IN THE FIELD. AS SUCH, THE UTILITY INFORMATION SHOWN ON THESE DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND SHOULD NOT BE RELIED ON FOR DESIGN OR CONSTRUCTION PURPOSES; TERRANE IS NOT RESPONSIBLE OR LIABLE FOR THE ACCURACY OR COMPLETENESS OF THIS UTILITY INFORMATION. FOR THE ACCURATE LOCATION AND TYPE OF UTILITIES NECESSARY FOR DESIGN AND CONSTRUCTION, PLEASE CONTACT THE SITE OWNER AND THE LOCAL UTILITY LOCATE SERVICE (800-424-5555).
4. SUBJECT PROPERTY TAX PARCEL NO. 019110-0190 & 019110-0195
5. SUBJECT TOTAL PROPERTY AREA PER THIS SURVEY IS 20,250 ±S.F. (0.46 ACRES)
 FOR PARCEL# 019110-0190 AREA= 10,125 ±S.F. (0.23 ACRES)
 FOR PARCEL# 019110-0195 AREA= 10,125 ±S.F. (0.23 ACRES)
6. THIS SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE REPORT. EASEMENTS AND OTHER ENCUMBRANCES MAY EXIST THAT ARE NOT SHOWN HEREON.
7. FIELD DATA FOR THIS SURVEY WAS OBTAINED BY DIRECT FIELD MEASUREMENTS WITH A CALIBRATED ELECTRONIC 5-SECOND TOTAL STATION AND/OR SURVEY GRADE GPS OBSERVATIONS. ALL ANGULAR AND LINEAR RELATIONSHIPS ARE ACCURATE AND MEET THE STANDARDS SET BY WAC 332-130-090.



STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.



INDEXING INFORMATION	
NE 1/4 SW 1/4	SECTION: 18
	TOWNSHIP: 24N
	RANGE: 05E W.M.
	COUNTY: KING

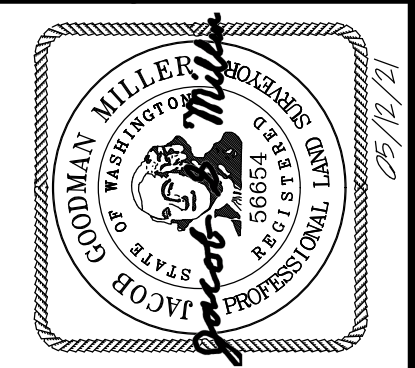
LEGEND

	ASPHALT SURFACE		POWER HAND HOLE
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (UNDERGROUND)
	CONCRETE SURFACE		POWER SENTRY
	RETAINING WALL		REBAR & CAP (SET)
	DECK		SEWER LINE
	FENCE LINE (WOOD)		SEWER MANHOLE
	GAS LINE		STORM DRAIN LINE
	INLET (TYPE 1)		TELEPHONE SENTRY
	NAIL AS NOTED		TREE (AS NOTED)
	MAILBOX (RESIDENTIAL)		WATER LINE
	PAVER SURFACE		WATER METER
	REBAR AS NOTED (FOUND)		WATER VALVE
	MONUMENT IN CASE (FOUND)		YARD LIGHT

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 0191100190 & 0191100195

JAYMARC HOMES

4537 90TH AVE SE
 MERCER ISLAND, WA 98040



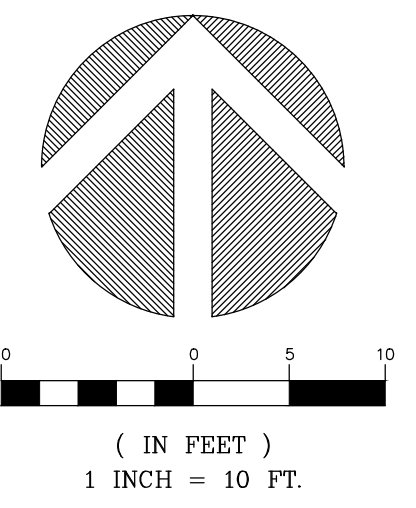
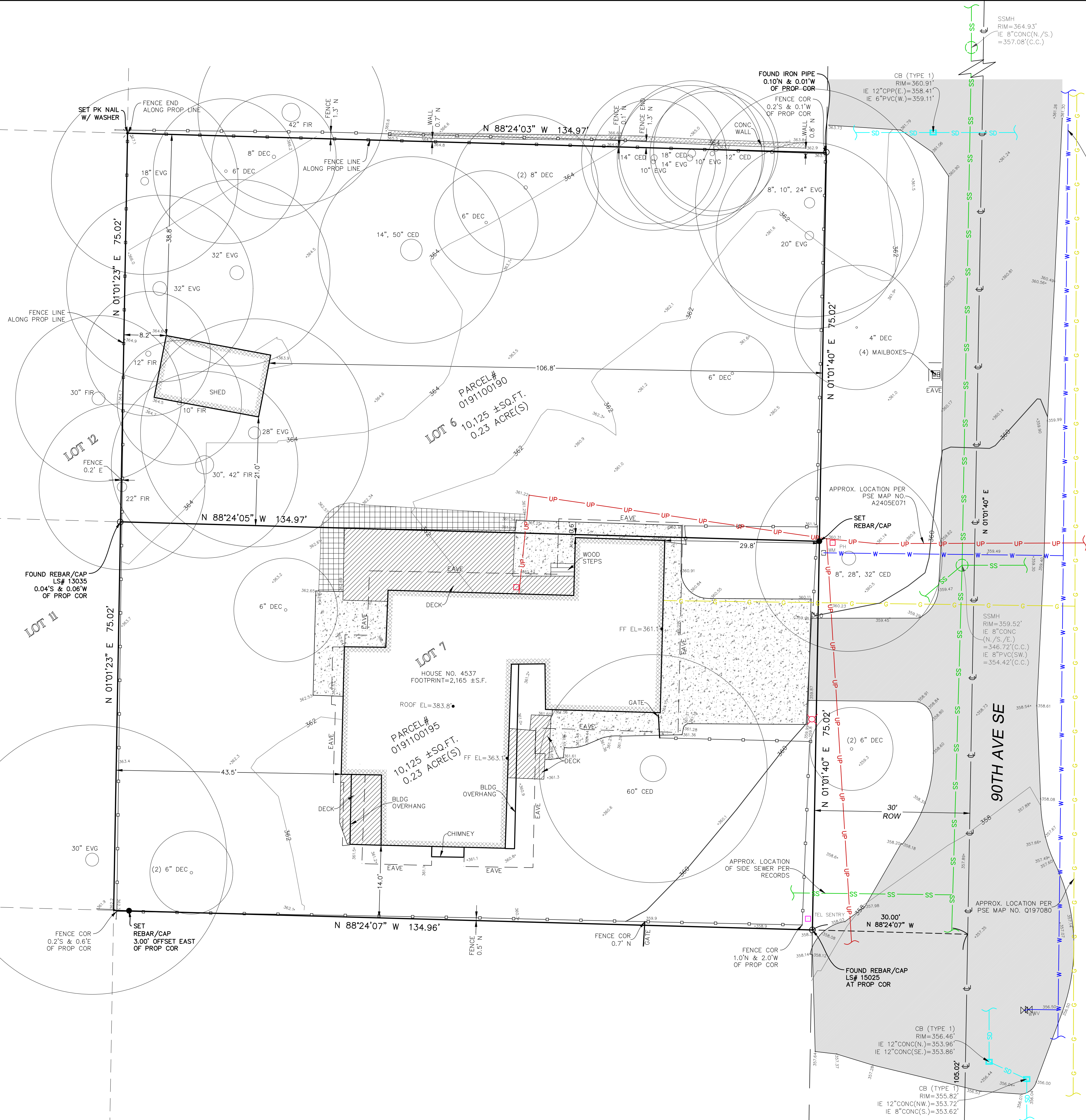
Terrane
 10801 Main Street, Suite 102, Bellevue, WA 98004
 phone 425.458.4498 support@terrane.net
 www.terrane.net

JOB NUMBER:	210905
DATE:	05/12/21
DRAFTED BY:	IDV / GKD
CHECKED BY:	TBR / JGM
SCALE:	N.T.S.
REVISION HISTORY	
SHEET NUMBER	
1 OF 2	

TOPOGRAPHIC & BOUNDARY SURVEY

LEGEND

	ASPHALT SURFACE		POWER HAND HOLE
	BUILDING		POWER METER
	CENTERLINE ROW		POWER (UNDERGROUND)
	CONCRETE SURFACE		POWER SENTRY
	RETAINING WALL		REBAR & CAP (SET)
	DECK		SEWER LINE
	FENCE LINE (WOOD)		SEWER MANHOLE
	GAS LINE		STORM DRAIN LINE
	INLET (TYPE 1)		TELEPHONE SENTRY
	NAIL AS NOTED		TREE (AS NOTED)
	MAILBOX (RESIDENTIAL)		WATER LINE
	PAVER SURFACE		WATER METER
	REBAR AS NOTED (FOUND)		WATER VALVE
	MONUMENT IN CASE (FOUND)		YARD LIGHT



INDEXING INFORMATION			
NE	1/4	SW	1/4
SECTION: 18	TOWNSHIP: 24N	RANGE: 05E, W.M.	COUNTY: KING

STEEP SLOPE/BUFFER DISCLAIMER:
 THE LOCATION AND EXTENT OF STEEP SLOPES SHOWN ON THIS DRAWING ARE FOR INFORMATIONAL PURPOSES ONLY AND CANNOT BE RELIED ON FOR DESIGN AND/OR CONSTRUCTION. THE PITCH, LOCATION, AND EXTENT ARE BASED SOLELY ON OUR GENERAL OBSERVATIONS ON SITE AND OUR CURSORY REVIEW OF READILY AVAILABLE PUBLIC DOCUMENTS; AS SUCH, TERRANE CANNOT BE LIABLE OR RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY STEEP SLOPE INFORMATION. ULTIMATELY, THE LIMITS AND EXTENT OF ANY STEEP SLOPES ASSOCIATED WITH ANY SETBACKS OR OTHER DESIGN OR CONSTRUCTION PARAMETERS MUST BE DISCUSSED AND APPROVED BY THE REVIEWING AGENCY BEFORE ANY CONSTRUCTION CAN OCCUR.

TOPOGRAPHIC & BOUNDARY SURVEY
 PARCEL NO. 0191100190 & 0191100195

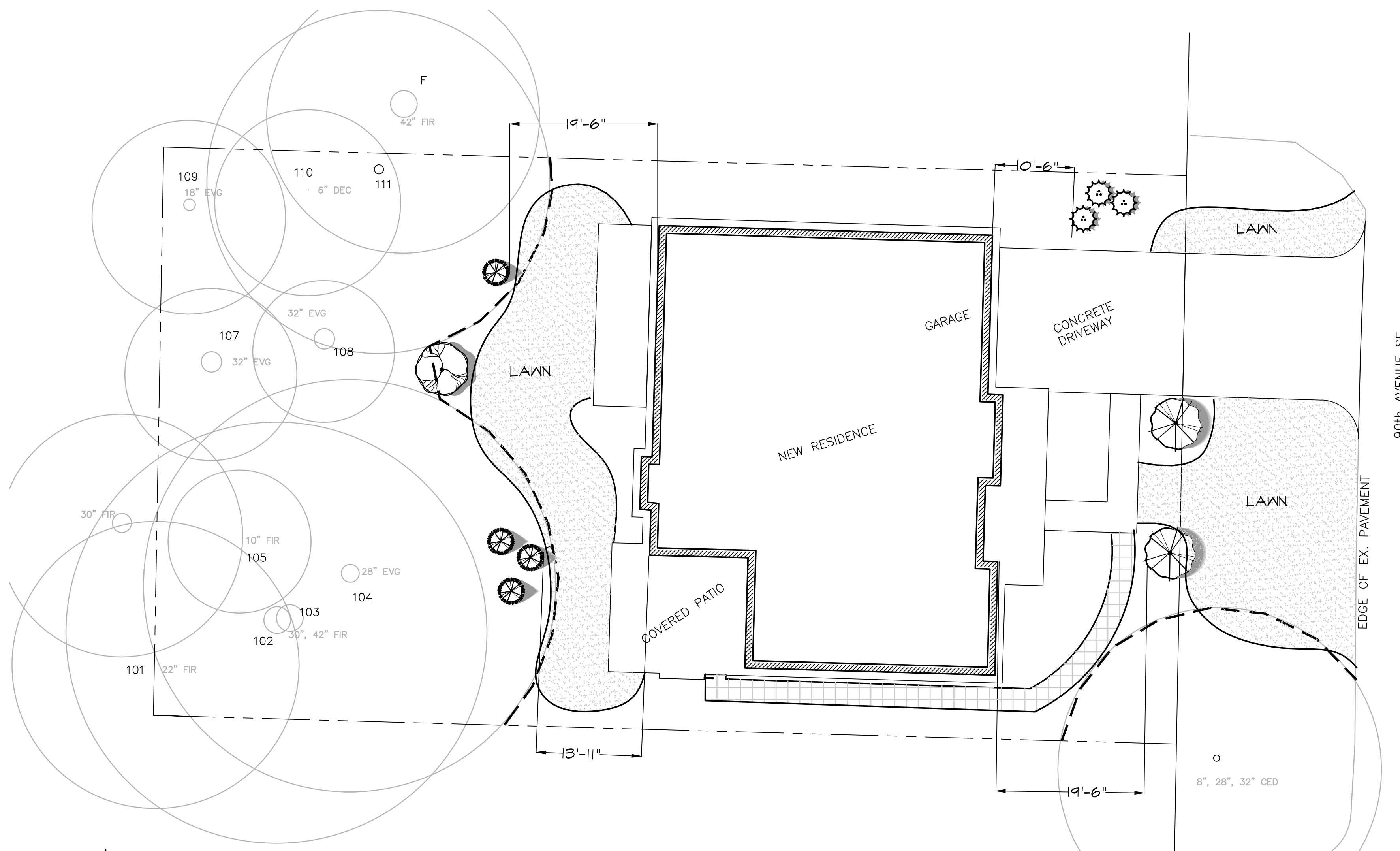
JAYMARC HOMES
 4537 90TH AVE SE
 MERCER ISLAND, WA 98040



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JOB NUMBER:	210905
DATE:	05/12/21
DRAFTED BY:	IDV / GKD
CHECKED BY:	TBR / JGM
SCALE:	1"=10'
REVISION HISTORY	
SHEET NUMBER	
2 OF 2	

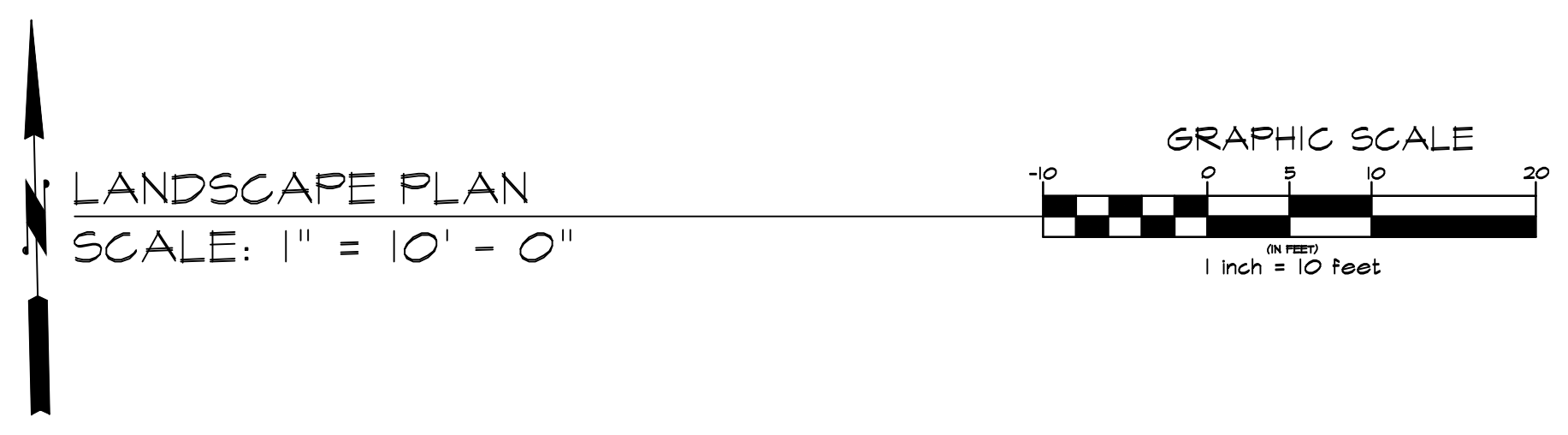
measure success



PLANT SCHEDULE

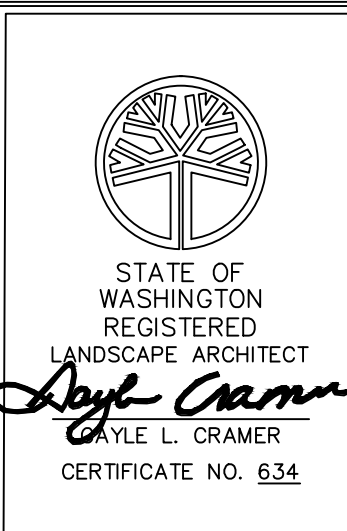
REPLACEMENT TREES	BOTANICAL / COMMON NAME	SIZE	
	Abies lasiocarpa / Alpine Fir	8'	
	Acer palmatum 'Bloodgood' / Bloodgood Japanese Maple	2' Cal.	
	Acer palmatum 'Sango Kaku' / Coral Bark Maple	2' Cal.	
	Tsuga mertensiana / Mountain Hemlock	8'	
SOD/SEED	BOTANICAL / COMMON NAME	SIZE	SPACING
	LAWN with 4" topsoil	sod	

TOTAL REPLACEMENT TREES REQUIRED 20 EA
 TOTAL REPLACEMENT TREES PROVIDED ON PLAN 10 EA



Drawn: GCA
 L. X/L/X
 Checked: 7-14-22

CRAMER DESIGN CONSULTANTS, INC.
 LANDSCAPE ARCHITECT
 1909 242ND STREET SE
 BOTHELL, WA 98021
 425-241-6258



TREE REPLACEMENT PLAN FOR
 JAYMARC HOMES
 4533 90TH AVE SE MERCER
 ISLAND WASHINGTON

SHEET
L-01
 OF 1 SHEETS